



CITY OF COLWOOD

3300 Wishart Road | Colwood | BC V9C 1R1 | 250 294-8153
planning@colwood.ca | www.colwood.ca

File: DP000046 - Townhouse Development at 3491 Coastal Dr

DEVELOPMENT PERMIT DP000046

THIS PERMIT, issued JANUARY 26, 2026 is,

ISSUED BY: **CITY OF COLWOOD**, a municipality incorporated under the *Local Government Act*,
3300 Wishart Road, Victoria, BC, V9C 1R1

(the "City")

PURSUANT TO: Section 490 of the *Local Government Act*, RSBC 2015, Chapter 1

-
1. This Form and Character Development Permit applies to those lands within the City of Colwood described below, and any and all buildings, structures, and other development thereon:

LOT C, SECTION 54, ESQUIMALT LAND DISTRICT, PLAN EPP145552
3491 COASTAL DR

(the "Lands")

2. This Development Permit regulates the development and alterations of the Land, and supplements the "*Colwood Land Use Bylaw, 1989*" (Bylaw No. 151), to ensure the Form and Character considerations for the 20-unit townhouse development and associated site improvements are consistent with the design guidelines for areas designated as "The Landing" and "Neighbourhood" in the City of Colwood Official Community Plan (Bylaw No. 1700).
3. This Development Permit is **NOT** a Building Permit or a subdivision approval.
4. This Development Permit is issued subject to compliance with all of the bylaws of the City of Colwood that apply to the development of the Lands, except as specifically supplemented by this Permit.
5. The Director of Planning or their delegate may approve minor variations to the schedules attached to and forming part of this Development Permit, provided that such minor variations are consistent with the overall intent of the original plans and do not alter the form and character of the development authorized by those plans.

6. If the construction permitted by this Permit does not substantially start within 24 months of the date of this Permit, the Permit shall lapse and be of no further force and effect.
7. The development is to be constructed in accordance with the following plans and specifications, which are attached to and form as part of this permit:
 - Schedule 1 Architectural Plans prepared by Cascadia Architects Inc. dated December 10, 2025.
 - Schedule 2 Landscape Plans prepared by Biophilia Design Collective dated December 8, 2025.
 - Schedule 3 Landscape Cost Estimate prepared by Biophilia Design Collective dated December 4, 2025.
8. This Development Permit authorizes the construction of 20 townhouse units along with any associated site works. The Lands shall not be altered, nor any buildings or structures constructed, except in accordance with the following conditions:

GENERAL

- 8.1. This Permit shall not be construed as relieving compliance with any of the requirements contained within the Section 219 covenants registered as "CA8955703", "CB2282107", "CB2282107", "CB2282117", "CB2282124", and "CB2282129" and as amended.
- 8.2. British Columbia's archaeological sites are protected under the Heritage Conservation Act and shall not be altered or damaged without the required permits from the Provincial Archaeology Branch.

FORM AND CHARACTER CONDITIONS

Building Features

- 8.3. The form and character of the buildings to be constructed on the Lands shall conform to the Architectural Drawings prepared by Cascadia Architects Inc. (Schedule 1).
- 8.4. Any future additions of telecommunications antennas or equipment to the exterior of the buildings and/or structures included in this Permit shall be architecturally integrated into the buildings and/or structures they are mounted on or screened from views so as not to be visually obtrusive, to the satisfaction of the Director of Planning or their delegate.
- 8.5. All mechanical roof elements, including mechanical equipment, elevator housings, and vents shall be visually screened with sloped roofs or parapets, or other forms of solid screening to the satisfaction of the Director of Planning or their delegate.
- 8.6. No future construction/installation of unenclosed or enclosed outdoor storage areas or recycling/refuse collection shall be undertaken without the issuance of a further Development Permit or amendment to this Permit.

Signage

- 8.7. This Development Permit does not include any signage approvals. A separate sign permit will be required for any marketing signage.

Landscaping

- 8.8. The design and construction of the proposed landscaping shall be in substantial compliance with the Landscape Plan prepared by Biophilia Design Collective (Schedule 2).
- 8.9. Prior to the issuance of a building permit, the City shall be provided with a written letter of engagement from a registered landscape architect agreeing to:
 - 8.9.1. Supervise and install the landscape work in accordance with the approved Landscape Plan prepared by Biophilia Design Collective (Schedule 2); and
 - 8.9.2. Perform a final inspection and submit an inspection report to the City confirming substantial compliance with the approved landscape plan.
- 8.10. Prior to the issuance of Building Permit, a one-year warranty of the landscape works from the landscape contractor shall be obtained. This warranty shall be transferrable to subsequent owners of the property within the warranty period. The warranty must include provision for a further one-year warranty on materials.
- 8.11. Prior to the issuance of a Building Permit, the City must be provided in the form of an irrevocable letter of credit or certified cheque, security in the amount of \$220,139.25 based on 110% of the Landscape Cost Estimate prepared by Biophilia Design Collective (Schedule 3), which amount, or a portion therefore, as the case may be, shall be returned, no sooner than 1 year from the date of planting, upon receipt of a signed statement of substantial completion from a registered landscape architect, to the satisfaction of the Director of Planning.

ISSUED ON THIS 26th DAY OF JANUARY, 2026.

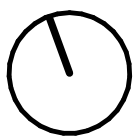


JASON JOHNSON
CHIEF ADMINISTRATIVE OFFICER

BEACHLANDS TOWNHOUSES - SITE 13-14



DESIGN CONCEPT AERIAL VIEW FROM THE SOUTH



PROJECT CONTACTS

OWNER

RPSP Beach Front Development Manager Ltd.
305 - 111 Water Street
Vancouver, British Columbia
Canada, V6B 1A7

PROJECT MANAGER

Turnbull Construction Project Managers Ltd.
Turnbull Construction Project

Priscilla Samuel
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psamuel@tcpm.ca

ARCHITECT

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250.590.3223

Peter Johannknecht, Architect
AIBC, LEED® AP, MRAIC, cert.
Passive House Designer
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STRUCTURAL ENGINEER

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BC V8T 5C3

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1535 Oak Crest Dr., Victoria,
BC V8P 1K7

Mark Bernhardt
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Jay Singh
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CIVIL ENGINEER

On Point Project Engineers
957 Langford Pkwy #111,
Victoria, BC V9B 0A5

Andrew Entz
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LANDSCAPE ARCHITECT

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Bianca Bodley
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CODE CONSULTANT

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West Markham ON L3T 7W4

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Simon.Geraghty@stantec.com

ENVELOPE CONSULTANT

Evoke Buildings
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Victoria, BC V8W 1P8

Chris Raudoy
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craudoy@evokebuildings.com

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Victoria, BC V8W 1P8

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Architectural DP

- A000. Cover
- A001.2 Zoning Data & DP Data
- A001.3 3D SITE VIEWS
- A002. Survey/Average Grade Calculations
- A006. Shadow Studies
- A050. Code Data
- A062. Material Board
- A100. Site Plan
- A120. Overall Ground Floor Plan - BLDG 1
- A121. Bldg. 1 Level 1/2/3 Plan
- A122. Bldg. 2 Level 1/2/3 Plan
- A123. Bldg. 3 Level 1/2/3 Plan
- A300. Elevation Bldg. 1 North / South
- A301. Elevation Bldg. 1 East / West
- A302. Elevations Bldg. 2 North / South
- A303. Elevations Bldg. 3
- A400. Site Sections
- A800. Common Facilities Pavillion
- A900. Perspectives
- A901. Perspectives
- A902. Building 3 - North Perspectives

Landscape

- L1.01 Landscape Plan
- L2.01 Planting Plan
- L3.01 Sections

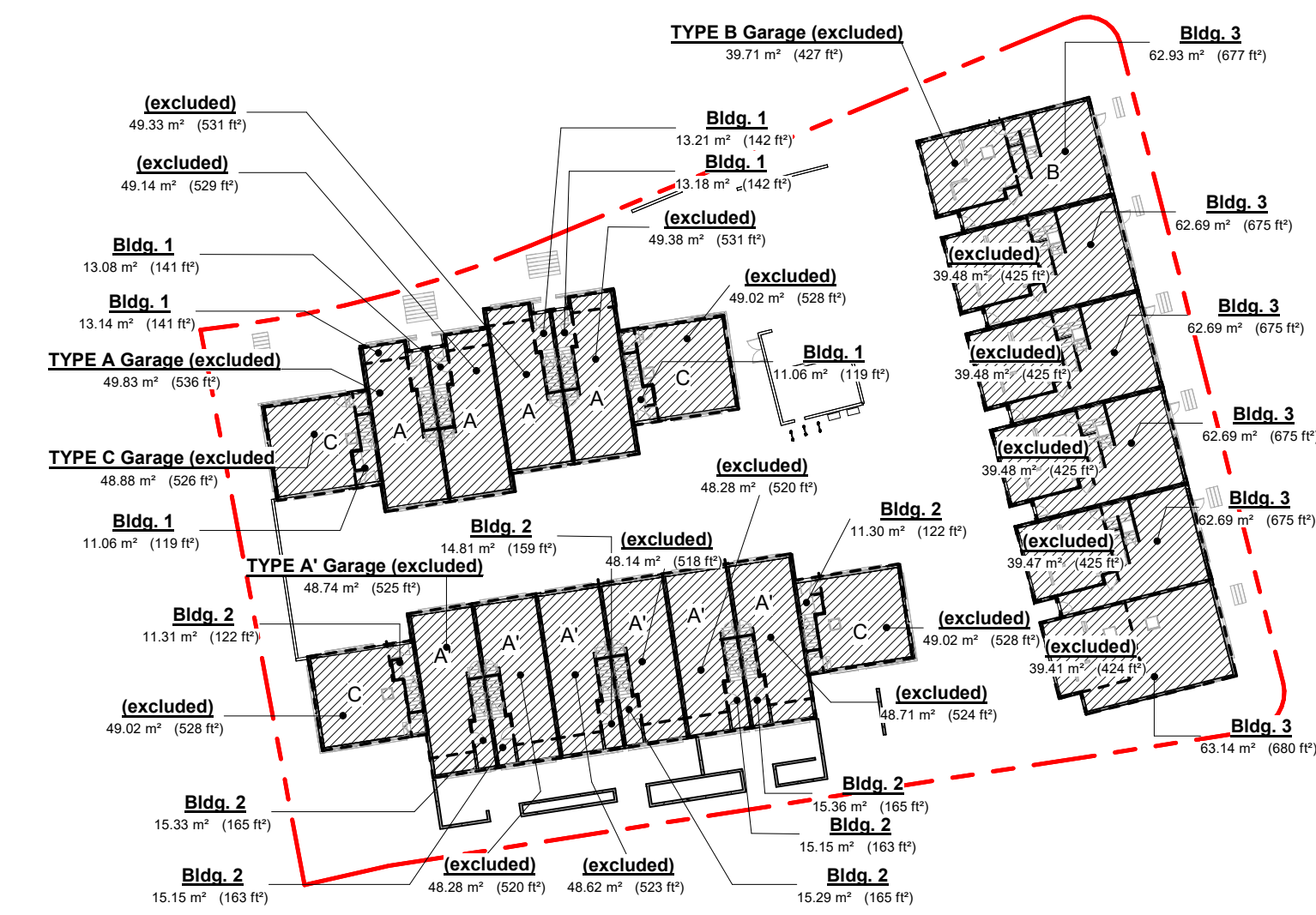
CIVIL

- C101 Cover Sheet
- C102 Notes Sheet
- C201 Overall Site Plan
- C202 Existing Site Plan
- C203 Grading Plan
- C204 Servicing Plan
- C205 Stormwater Management Plan
- C301 Site 13-14 Plan & Profile
- C401 Details
- C403 Fire Truck Turning

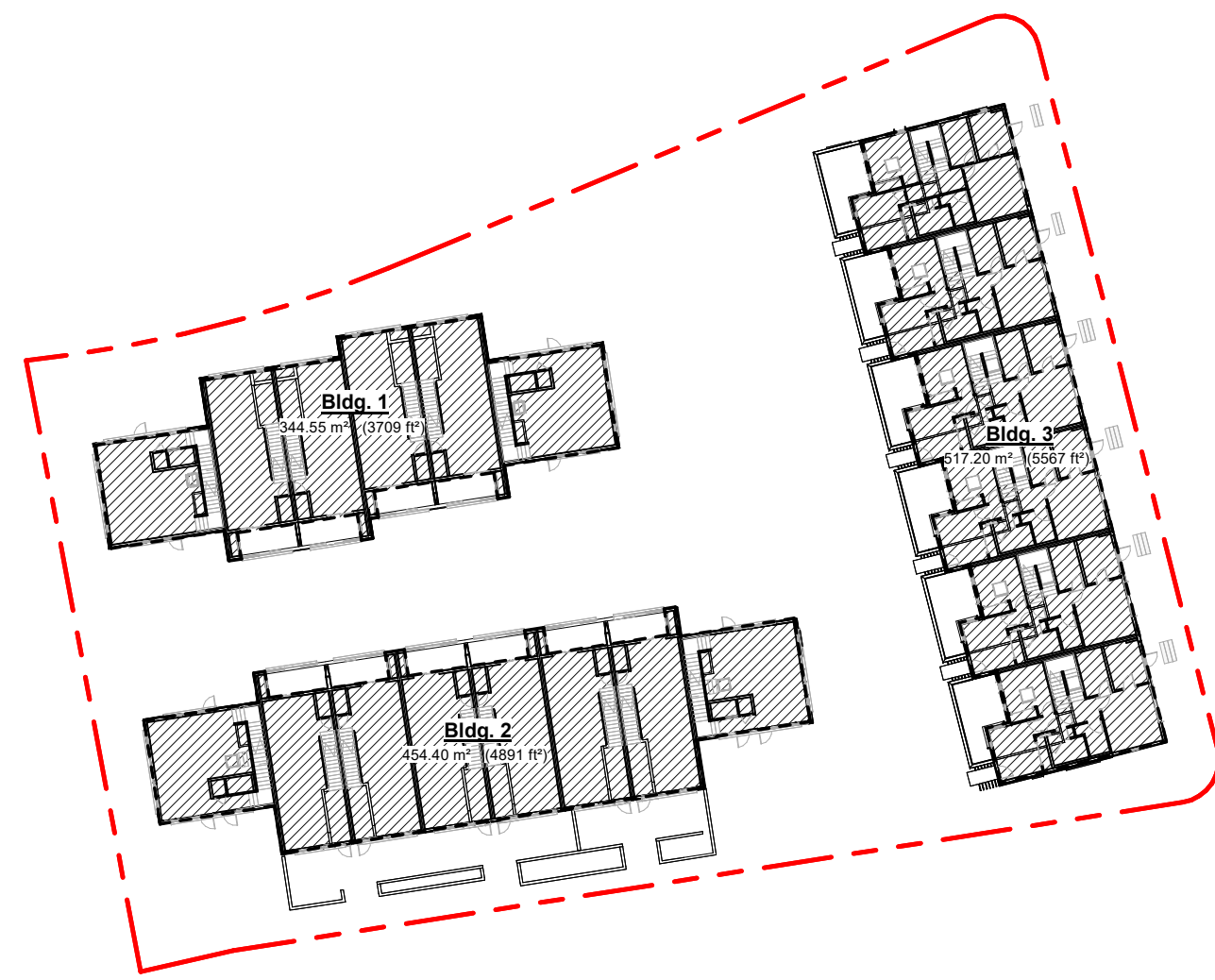
Project #	2330
Date	December 10th 2025
Revision	
Sheet #	A000.



RPSP Beach Front Development Manager Ltd.
Beachlands Site 13-14
Development Permit Revision 2 - December 10th 2025



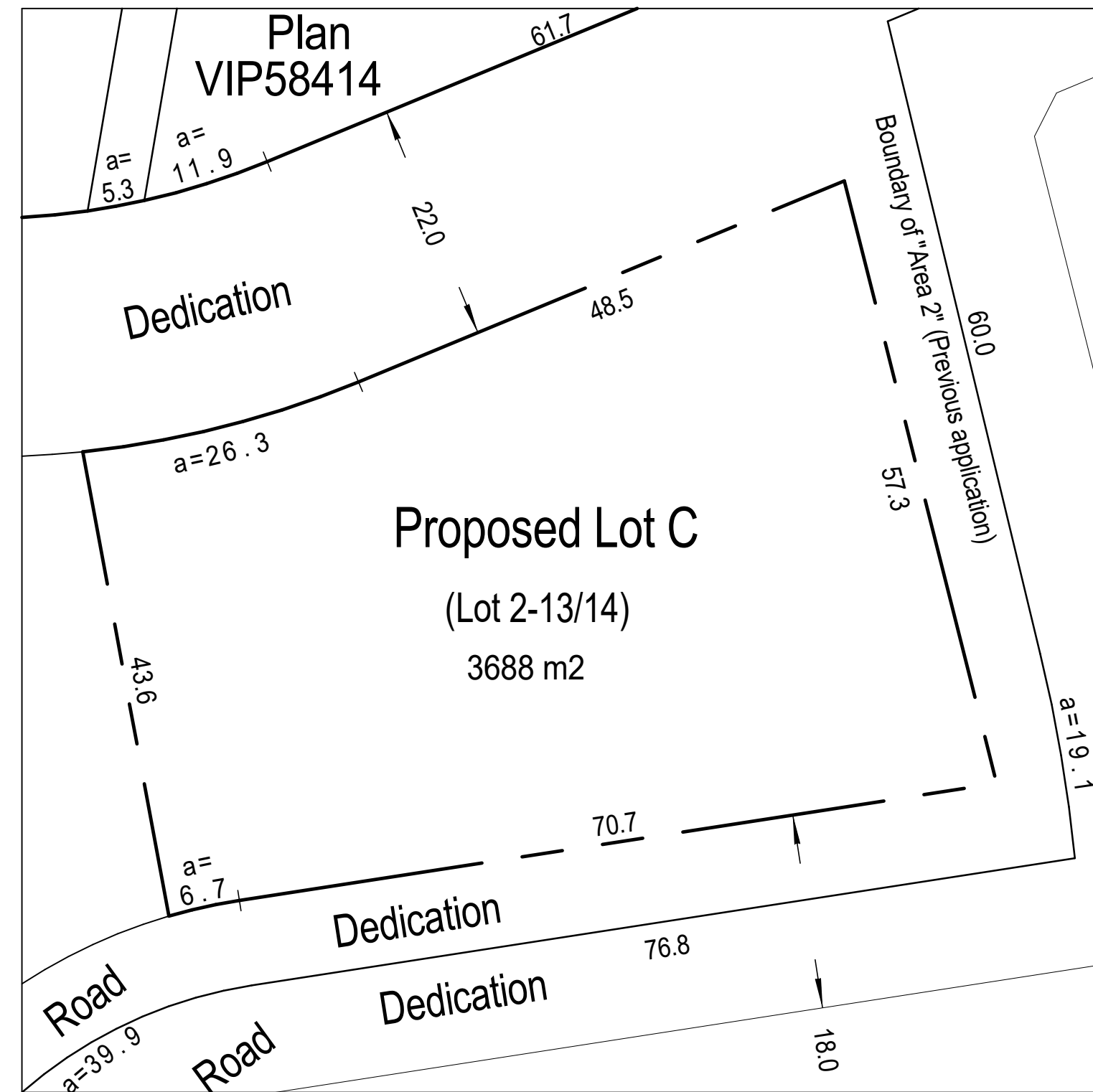
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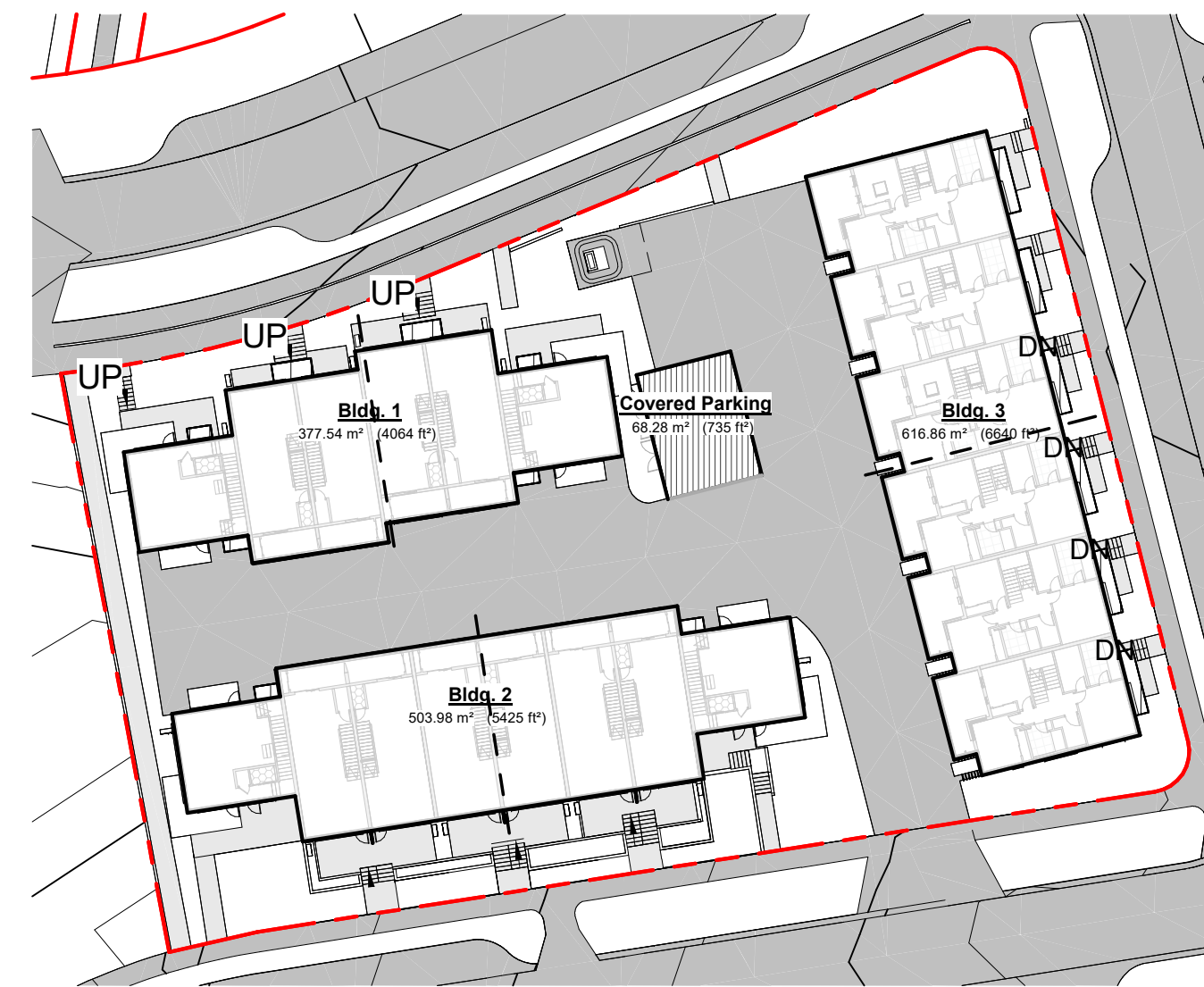
2 FSR Level 2
SCALE = 1 : 500



3 FSR Level 3
SCALE = 1 : 500



5 Site Survey
SCALE = 1 : 500



4 Lot Coverage
SCALE = 1 : 500

Subject Property Map
COMPREHENSIVE DEVELOPMENT 30 (CD - 30 ROYAL BEACH) ZONE



OFF STREET PARKING
REFERENCE LAND USE BYLAW SEC. 10.33.7

Visitor Parking :	0.15/DU*
0 bedroom :	0.8 per DU + 0.15 visitor
1 bedroom :	1.0 per DU + 0.15 visitor
2 bedroom :	1.3 per DU + 0.15 visitor
3 bedroom :	1.5 per DU + 0.15 visitor

*DU Dwelling Unit

Area Schedule (LOT COVERAGE)		
Name	Area	Lot Coverage
Bldg. 1	377.54 m ²	10.24%
Bldg. 2	503.98 m ²	13.67%
Bldg. 3	616.86 m ²	16.73%
Covered Parking	68.28 m ²	1.85%
Total	1566.66 m²	42.48%

Gross Floor Area Schedule (GFA CALCULATIONS)			
Name	Level	Area	Floor Area Ratio
Bldg. 1	x-Ground Floor	74.73 m ²	0.02
Bldg. 1	x-Level 2	344.55 m ²	0.09
Bldg. 1	x-Level 3	376.02 m ²	0.10
Bldg. 2	x-Ground Floor	795.30 m ²	0.22
Bldg. 2	x-Level 2	113.71 m ²	0.03
Bldg. 2	x-Level 3	454.40 m ²	0.12
Bldg. 2	x-Level 3	501.71 m ²	0.14
		1069.82 m ²	0.29
Bldg. 3	x-Ground Floor	376.83 m ²	0.10
Bldg. 3	x-Level 2	517.20 m ²	0.14
Bldg. 3	x-Level 3	127.24 m ²	0.03
		1021.27 m ²	0.28
Grand total: 31		2886.39 m²	0.78

Per Colwood Definition - "Gross Floor Area" - Measured to outside face of sheathing

Gross Buildable Area Schedule (GFA CALCULATIONS)	
Area	Level
1486.67 m ²	x-Ground Floor
1316.15 m ²	x-Level 2
1004.97 m ²	x-Level 3
3807.78 m ²	

Total buildable area (Includes Garages)

NOTE: ALL AREAS ARE MEASURED TO OUTSIDE FACE OF EXTERIOR SHEATHING AND CENTERLINE OF WALLS

ZONING DATA		
ZONE	CD30-AREA 2	
USE	ATTACHED HOUSING	
SITE AREA	3688 m ²	
REGULATORY CONDITIONS	ALLOWABLE	PROVIDED
MAX. FSR ALLOWED	1.2:1	0.78:1
TOTAL GROSS FLOOR AREA*	2,887 m ²	
BUILDING HEIGHT (from Natural Grade**)	12.5 m	11.1 m
SETBACKS	REQUIRED	PROVIDED
FRONTING STREET (WITH REAR LANE GARAGE ACCESS)	3.0 m	3.2 m
SIDE	1.2 m	1.7 m
EXTERIOR SIDE	3.0 m	3.3 m
REAR	4.5M m	N/A
MAX. LOT COVERAGE	50%	42.48%
TOTAL LOT COVERAGE AREA*	1,566.66 m ²	
PARKING	REQUIRED	PROVIDED
20 x 3BDRM Dwelling Units	30	40
VISITOR	0.15x20 = 3	3
ACCESSIBLE STALLS INCLUDED IN VISITOR STALL COUNT	1	1
TOTAL PARKING COUNT	43	
BICYCLES		
CLASS 1	1/DU = 20	20
CLASS 2	6/LOT	6
SMALL PARK (MAX 30 %)	0	
LOADING ZONE		
TOTAL NUMBER OF UNITS	20	
UNIT TYPE		
3 BED ROOM	20	

* REFER TO CALCULATIONS
** NATURAL GRADE = AVERAGE GRADE

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Issued for 75% Coordination	25.07.18
	Development Permit	25.03.18



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Beachlands Site 13-14
RPSP Beach Front Development Manager Ltd.

Sheet Name
Zoning Data & DP Data

Date
December 10th 2025

Scale
As indicated

Project #
2330

revision

set #

A001.2

2025-12-10

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1 NORTH EAST CORNER
SCALE = 1:250



2 SOUTH WEST CORNER
SCALE = 1:250

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.03.12
	Development Permit	25.03.18



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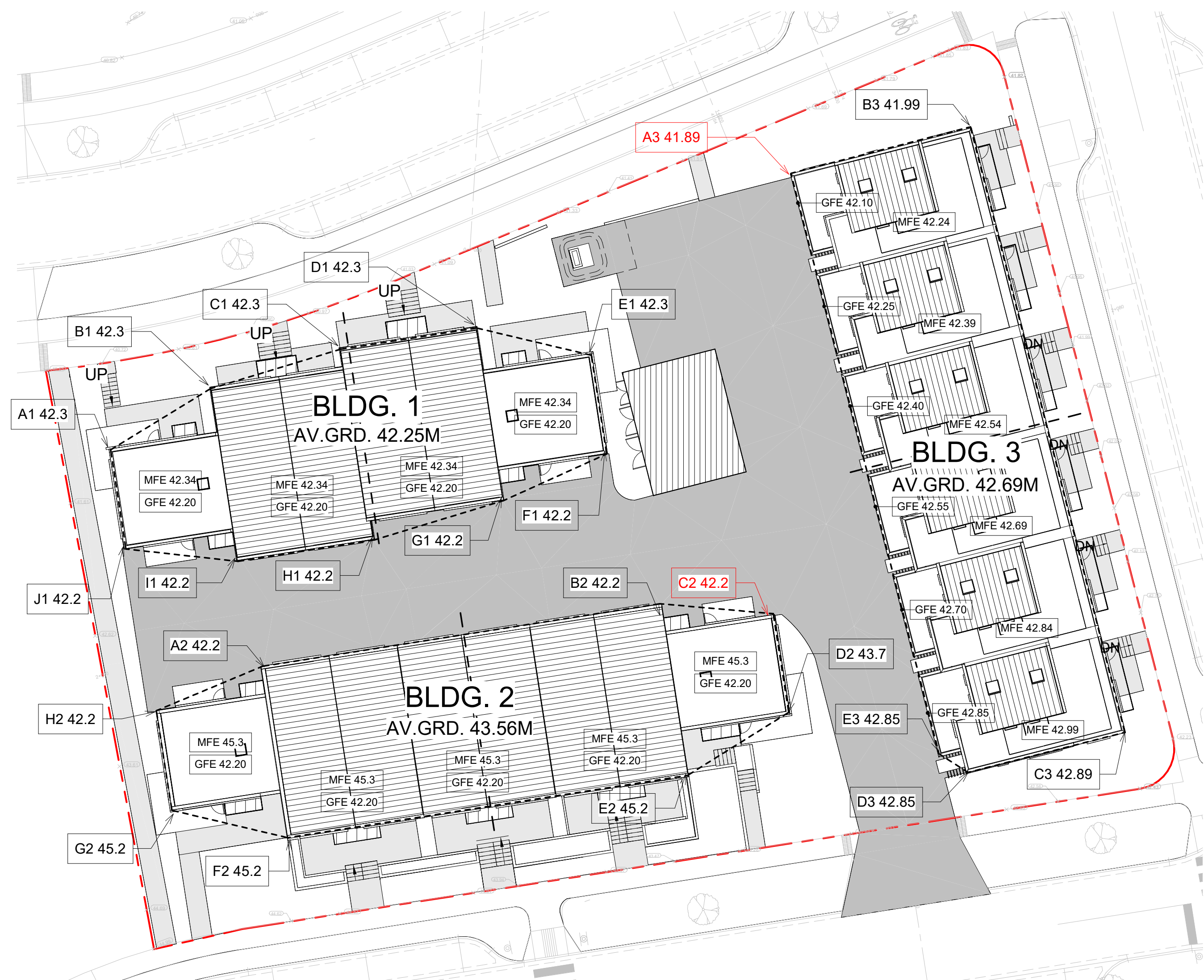
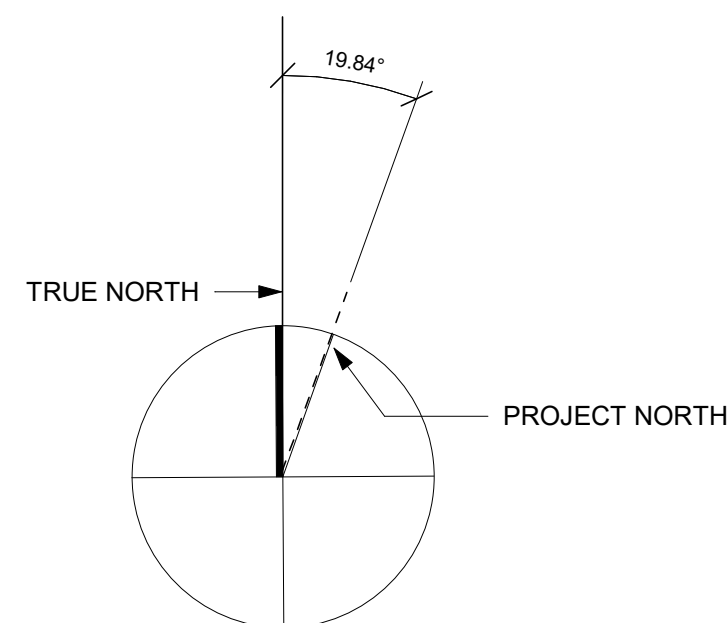
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Beachlands Site 13-14	
RPSP Beach Front Development Manager Ltd.	
Sheet Name	3D SITE VIEWS
Date	December 10th 2025
Scale	Project # 2330
	Revision 1
	Set # A001.3
2025-12-10	



Average Grade Calculations

Building #	Bldg 1	Bldg 2	Bldg 3
A1	42.30	A2 42.30	A3 41.89
B1	42.30	B2 42.30	B3 41.99
C1	42.30	C2 42.30	C3 43.89
D1	42.30	D2 43.70	D3 42.85
E1	42.30	E2 45.20	E3 42.85
F1	42.20	F2 45.20	
G1	42.20	G2 45.20	
H1	42.20	H2 42.30	
I1	42.20		
J1	42.20		
TOTAL	422.5	348.5	213.47
Average Grade	42.25	43.56	42.69

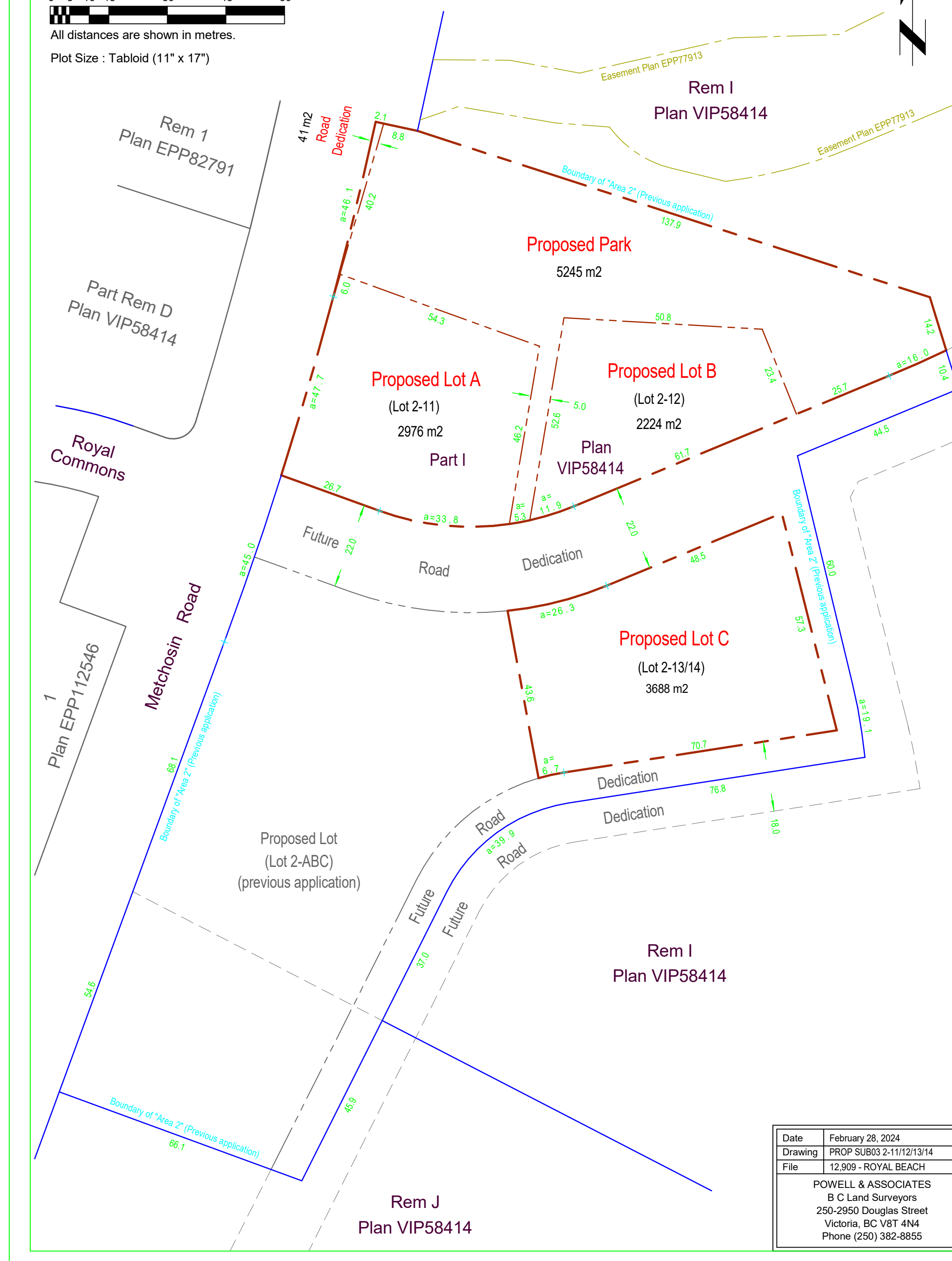


Lot Average Grade Calculations Copy 1

Sketch Plan of Proposed Subdivision of Parts of -Lot I, Section 54, Plan VIP58414 (Subdivision of Part of Area 2 - Previous Application)

New Plan # EPP135360

SCALE 1 : 9 0 0
0 5 10 15 30 45 60
All distances are shown in metres.
Plot Size : Tabloid (11" x 17")



Survey Plan Copy 1

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Issued for 75% Coordination	25.07.18
	Development Permit	25.03.18



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Beachlands Site 13-14
RPSP Beach Front Development Manager Ltd.

Sheet Name
Survey/Average Grade Calculations

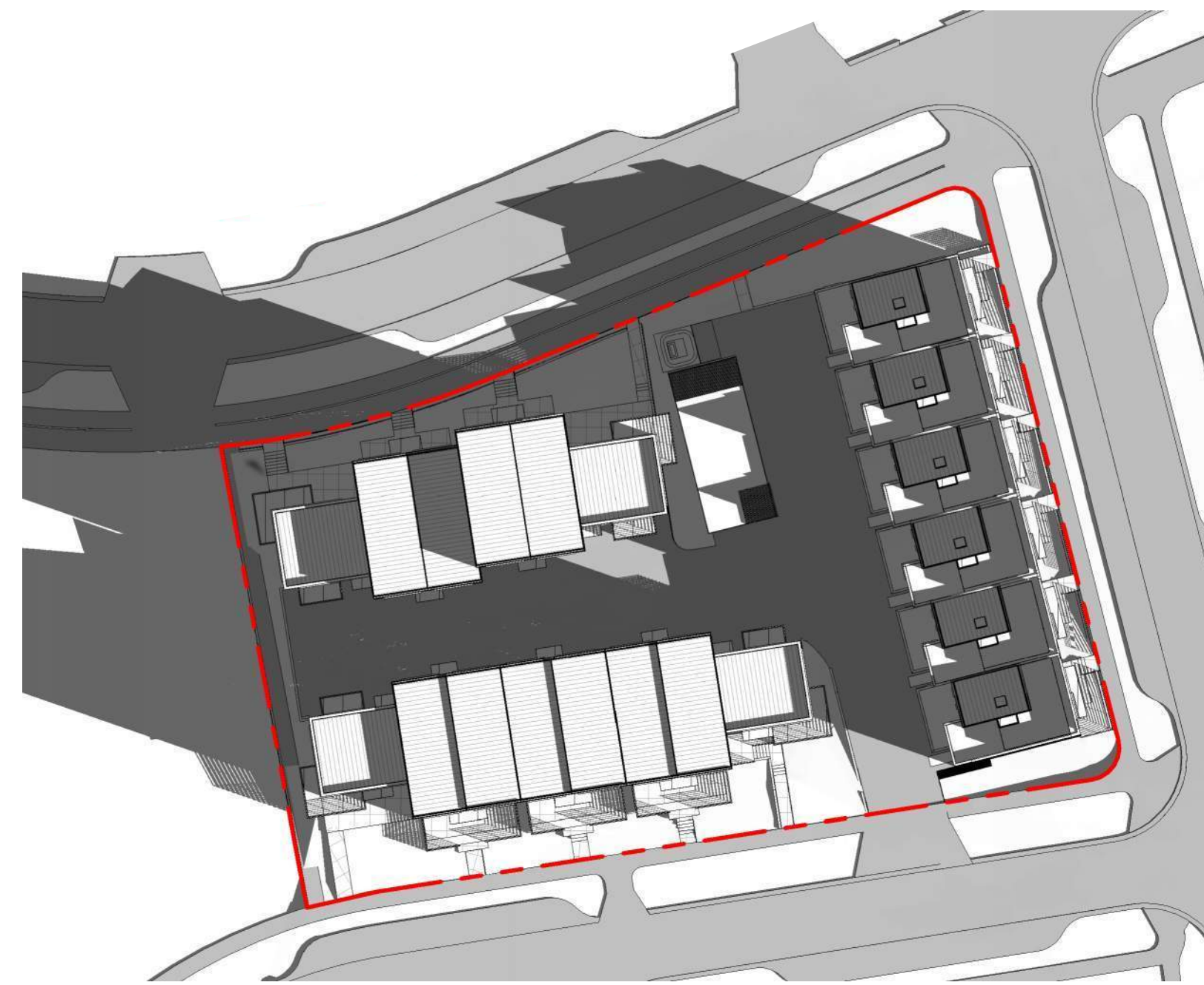
Date
December 10th 2025

Scale
As indicated

Project #
2330



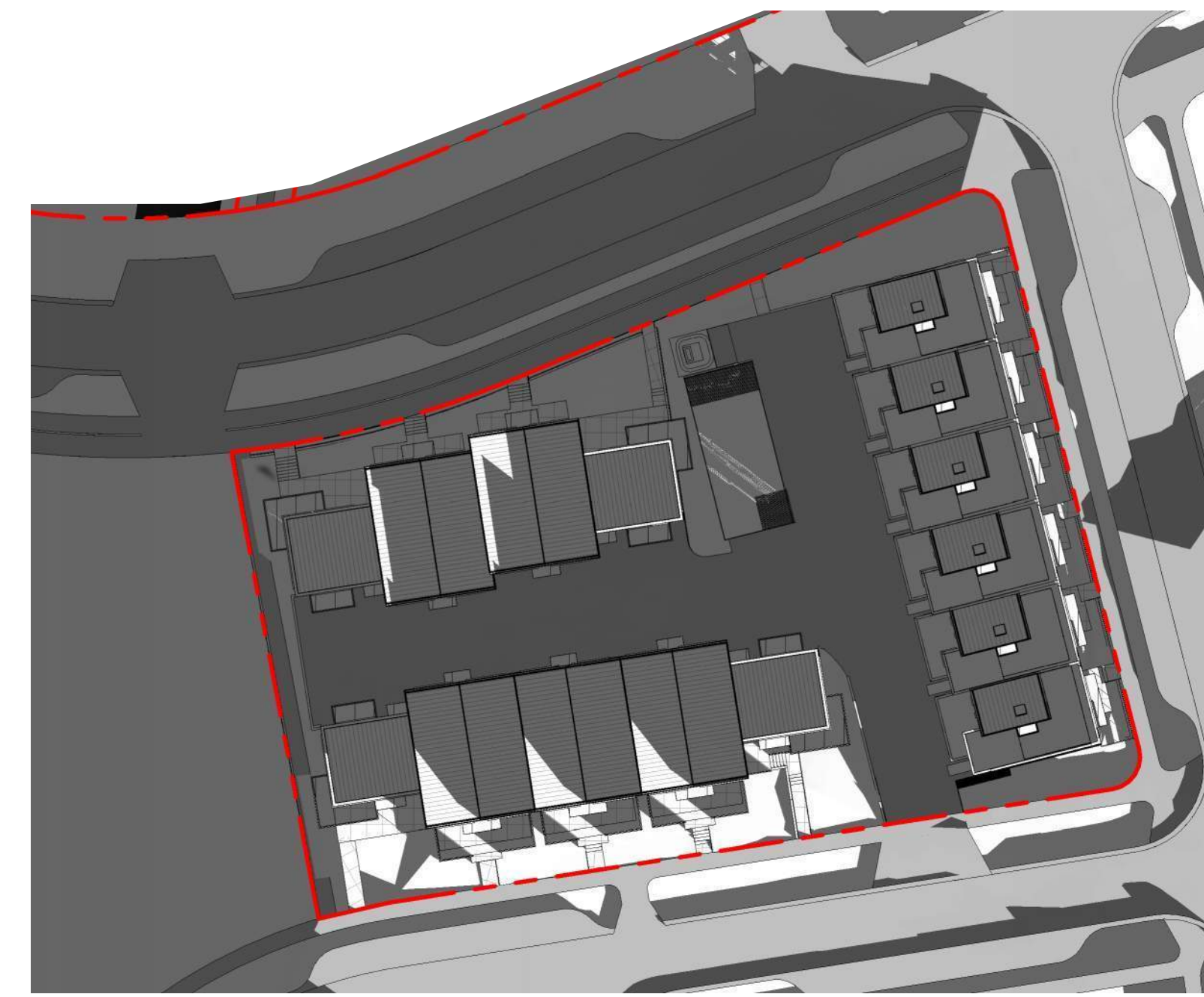
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A002.



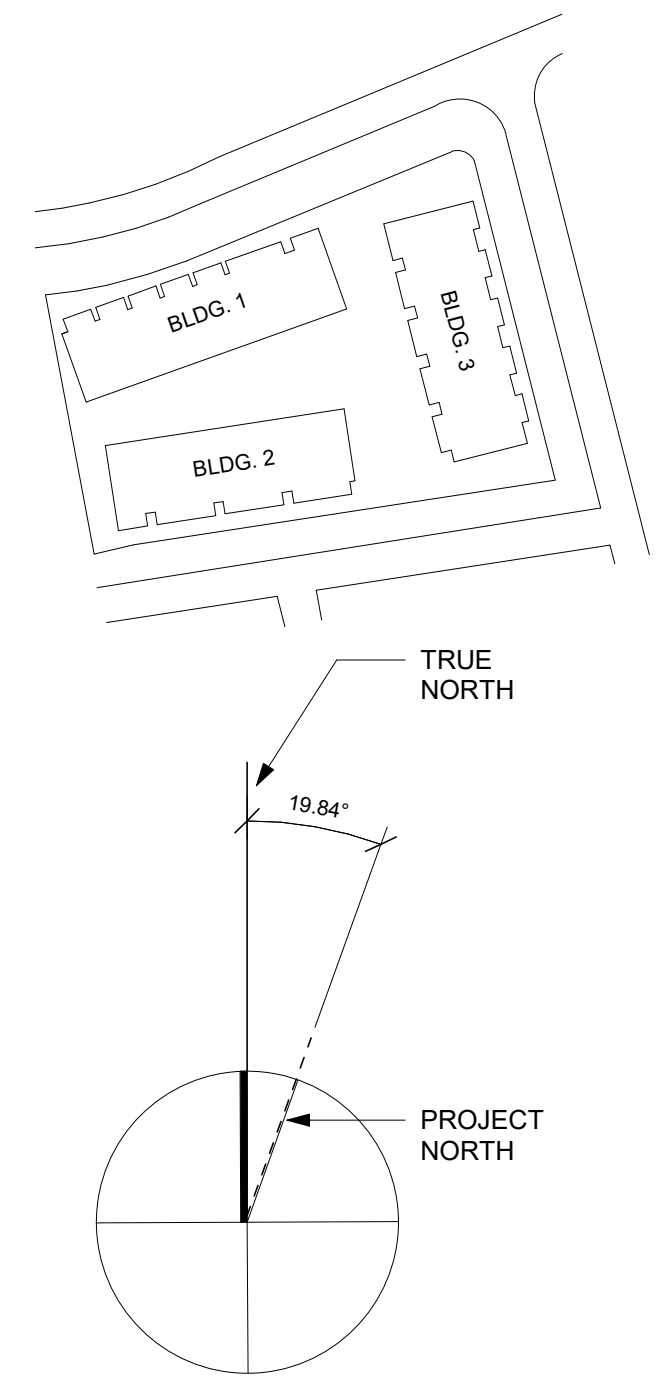
SOLAR STUDY MARCH 20 8 AM-(Equinox)



SOLAR STUDY JUNE 20 8 AM-(SUMMER SOLSTICE)



SOLAR STUDY DECEMBER 21 8 AM-(WINTER SOLSTICE)



SOLAR STUDY MARCH 20 12 PM-(Equinox)



SOLAR STUDY JUNE 20 12 PM-(SUMMER SOLSTICE)



SOLAR STUDY DECEMBER 21 12 PM-(WINTER SOLSTICE)

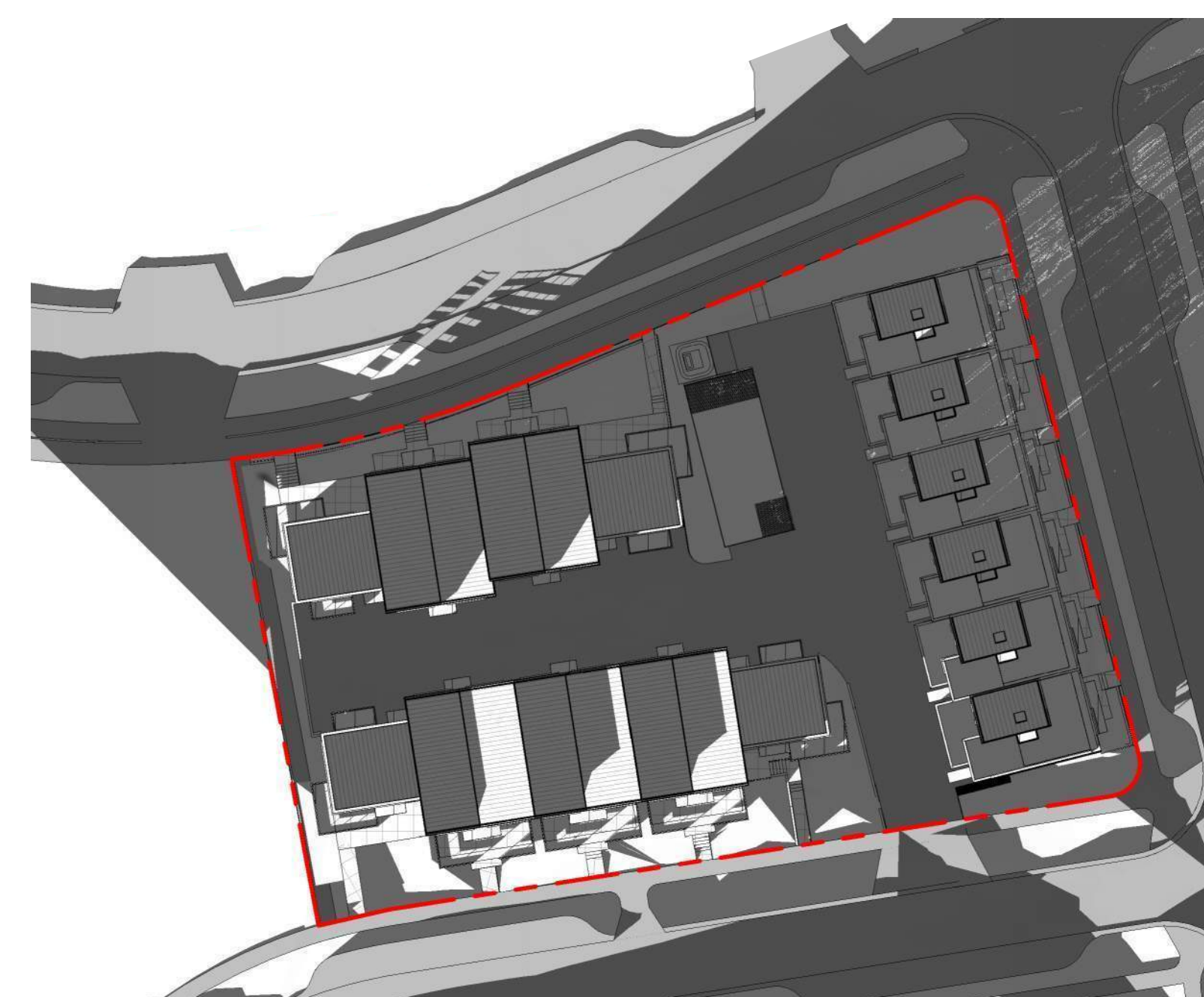
Development Permit Revision 2	25.12.10	
Development Permit Revision 1	25.09.12	
Development Permit	25.03.18	
NO.	DESCRIPTION	DATE



SOLAR STUDY MARCH 20 4 PM-(Equinox)



SOLAR STUDY JUNE 20 4 PM-(SUMMER SOLSTICE)



SOLAR STUDY DECEMBER 21 4 PM-(WINTER SOLSTICE)



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name: **Shadow Studies**

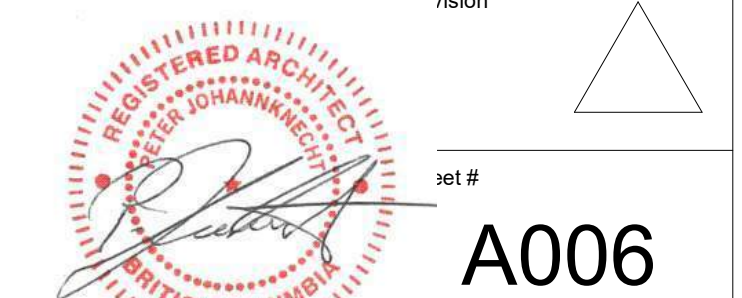
Date: **December 10th 2025**

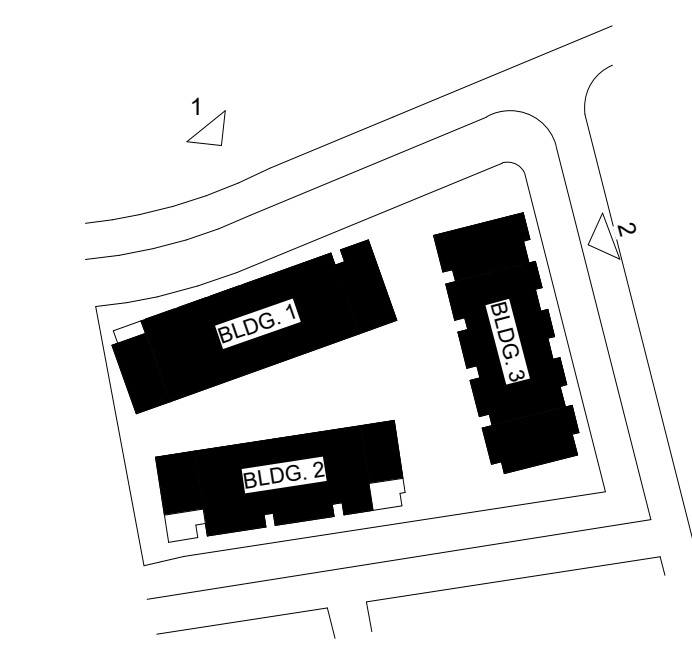
Scale: **1 : 1** Project #: **2330**

Revision: **1**

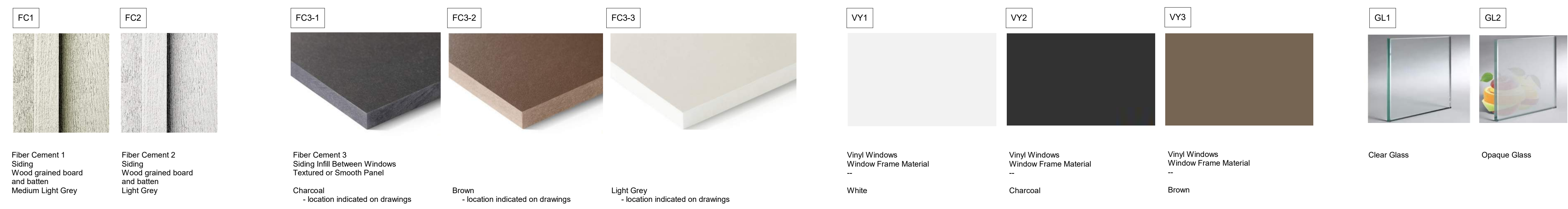
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Development Permit Revision 2	25.12.10	
Development Permit Revision 1	25.03.12	
Development Permit	25.03.18	
NO.	DESCRIPTION	DATE



Name: Fiber Cement 1
Application: Siding
Description: Wood grained board and batten
Colour: Medium Light Grey

Name: Fiber Cement 2
Application: Siding
Description: Wood grained board and batten
Colour: Light Grey

Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Charcoal - location indicated on drawings

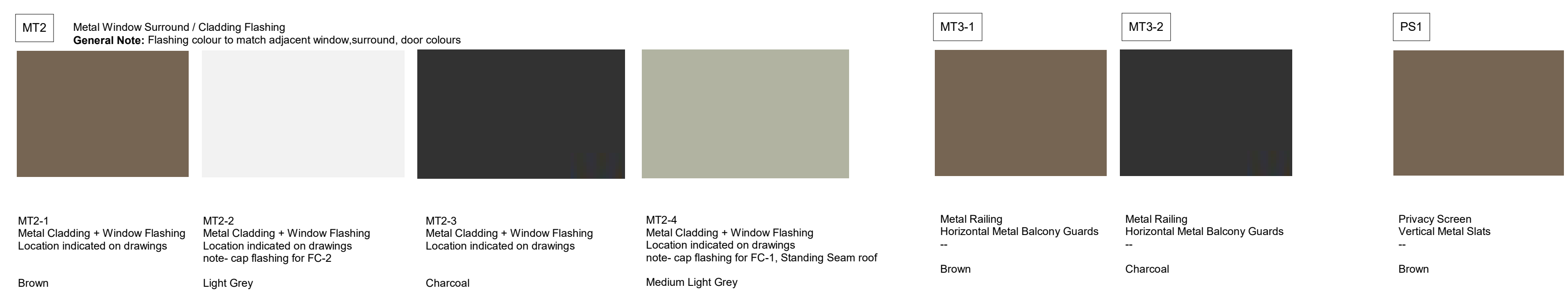
Name: Vinyl Windows Window Frame Material
Description: --
Colour: White

Name: Vinyl Windows Window Frame Material
Description: --
Colour: Charcoal

Name: Vinyl Windows Window Frame Material
Description: --
Colour: Brown

Name: Clear Glass
Description: --

Name: Opaque Glass
Description: --



Name: MT2
Application: Metal Window Surround / Cladding Flashing
Description: Metal Cladding + Window Flashing
General Note: Flashing colour to match adjacent window, surround, door colours
Colour: Brown

Name: MT2-1
Application: Metal Cladding + Window Flashing
Description: Metal Cladding + Window Flashing
Location: Location indicated on drawings
Colour: Light Grey

Name: MT2-2
Application: Metal Cladding + Window Flashing
Description: Metal Cladding + Window Flashing
Location: Location indicated on drawings
Note: note- cap flashing for FC-2
Colour: Light Grey

Name: MT2-3
Application: Metal Cladding + Window Flashing
Description: Metal Cladding + Window Flashing
Location: Location indicated on drawings
Colour: Charcoal

Name: MT2-4
Application: Metal Cladding + Window Flashing
Description: Metal Cladding + Window Flashing
Location: Location indicated on drawings
Note: note- cap flashing for FC-1, Standing Seam roof
Colour: Medium Light Grey

Name: MT3-1
Application: Metal Railing
Description: Horizontal Metal Balcony Guards
Colour: Brown

Name: MT3-2
Application: Metal Railing
Description: Horizontal Metal Balcony Guards
Colour: Charcoal

Name: PS1
Application: Privacy Screen
Description: Vertical Metal Slats
Colour: Brown



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Beachlands Site 13-14
RPSP Beach Front Development Manager Ltd.

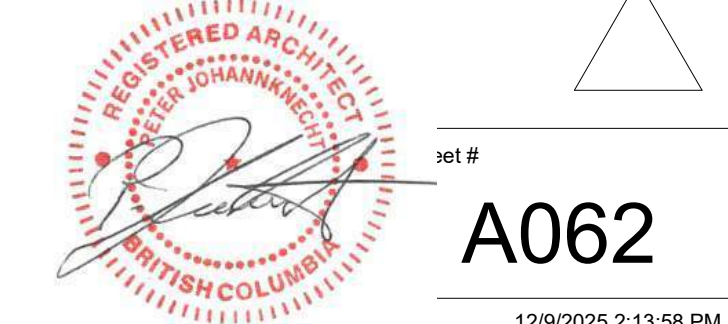
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Material Board

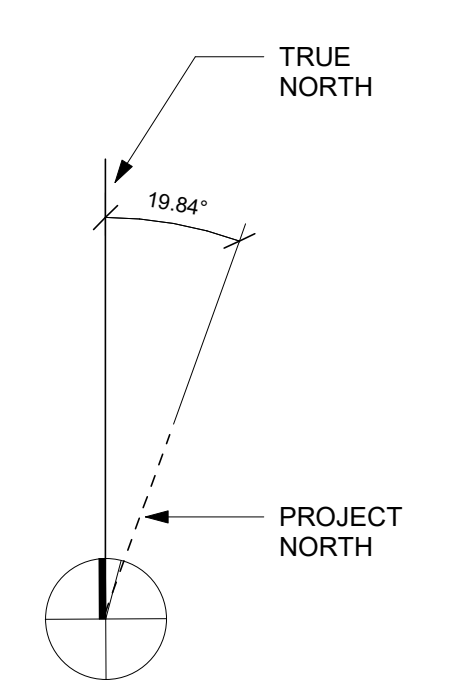
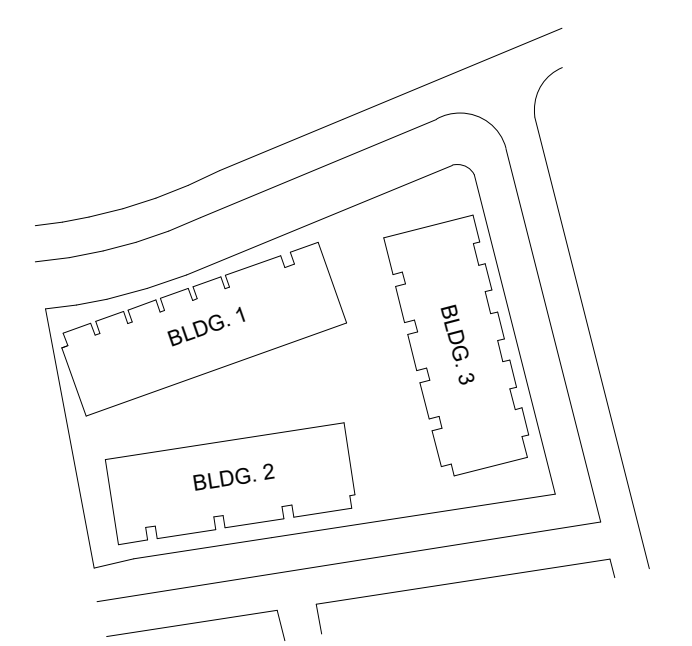
Date
December 10th 2025

Scale
1 : 1

Project #
2330

Revision
/ision





NO.	DESCRIPTION	DATE
1	Development Permit Revision 2	25.12.10
2	Development Permit Revision 1	25.09.12
3	Issued for 75% Coordination	25.07.18
4	Development Permit	25.03.18



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name: **Site Plan**

Date: **December 10th 2025**

Scale: **1:150** Project #: **2330**

revision:

set #: **A100.**

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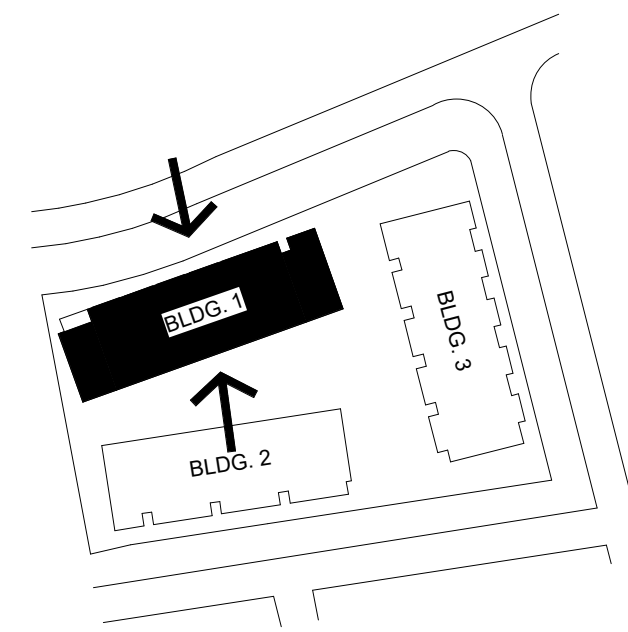
C:\Users\masc@inc\Cascadia Architects Inc\Documents\13-14 Main Model_msc@inc\13-14 Main Model_msc@inc.rvt



1 Elevation Bldg. 1 South.
SCALE = 1 : 100



2 Elevation Bldg. 1 North.
SCALE = 1 : 100



Keynote Legend Materials	
Key Value	Keynote Text
CR1	Concrete, Sealed
DR-1	Garage Door, sectional, smooth pld. finish
FC1	Fibre Cement Panel, Board and Batten Tight, Medium Light Grey
FC2	Fibre Cement Panel, Board and Batten Wide, Light Grey
FC3-1	Cementitious Panel, Charcoal
FC3-2	Cementitious Panel, Brown
FC3-3	Cementitious Panel, Light Grey
FE 1	Fence Wood Slats Horizontal
GL1	Glass, clear
GL2	Frosted Glass - White
MT2-1	Powder Coated Metal, Brown
MT2-2	Powder Coated Metal, Light Grey
MT2-3	Powder Coated Metal, Charcoal
MT2-4	Powder Coated Metal, Medium Light Grey
MT3-1	Powder Coated Metal, Railing Brown
MT3-2	Powder Coated Metal, Railing Brown
PS1	Privacy Screen
VY1	Vinyl Frame, White
VY2	Vinyl Frame, Charcoal
VY3	Vinyl Frame, Brown

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Development Permit	25.03.18



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Elevation Bldg. 1 North / South

Date December 10th 2025

Scale As indicated Project # 2330

Revision

set # A300.

2025-12-10 12/9/2025 2:15:00 PM



Name: Fiber Cement 1
Application: Siding
Description: Wood grained board and batten
Colour: Medium Light Grey

Name: Fiber Cement 2
Application: Siding
Description: Wood grained board and batten
Colour: Light Grey



Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Charcoal - location indicated on drawings

Name: Fiber Cement 2
Application: Siding
Description: Wood grained board and batten
Colour: Brown - location indicated on drawings

Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Light Grey - location indicated on drawings



Name: Vinyl Windows Window Frame Material
Description: --
Colour: White

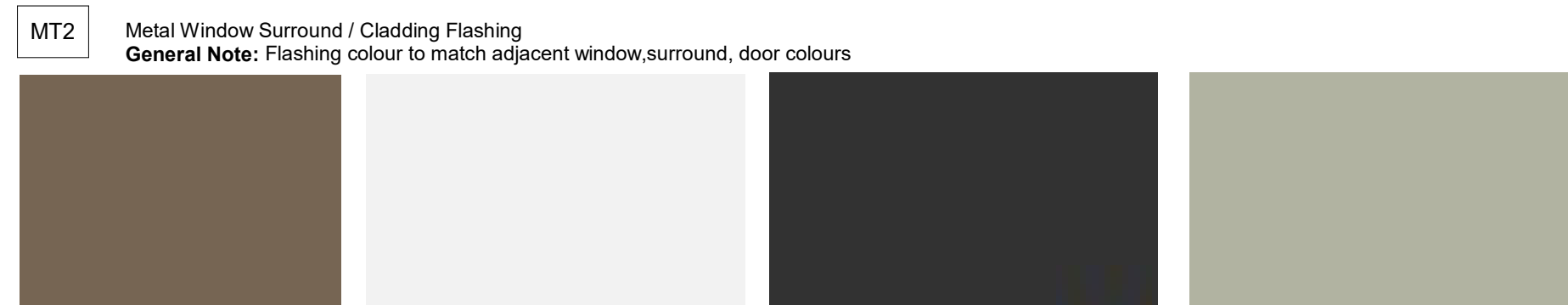
Name: Vinyl Windows Window Frame Material
Description: --
Colour: Charcoal

Name: Vinyl Windows Window Frame Material
Description: --
Colour: Brown



Name: Clear Glass
Description: --
Colour: Clear Glass

Name: Opaque Glass
Description: --
Colour: Opaque Glass



Name: MT2-1 Metal Window Surround / Cladding Flashing
General Note: Flashing colour to match adjacent window, surround, door colours
Description: Location indicated on drawings
Colour: Brown

Name: MT2-2 Metal Cladding + Window Flashing
Description: Location indicated on drawings note- cap flashing for FC-2
Colour: Light Grey

Name: MT2-3 Metal Cladding + Window Flashing
Description: Location indicated on drawings
Colour: Charcoal

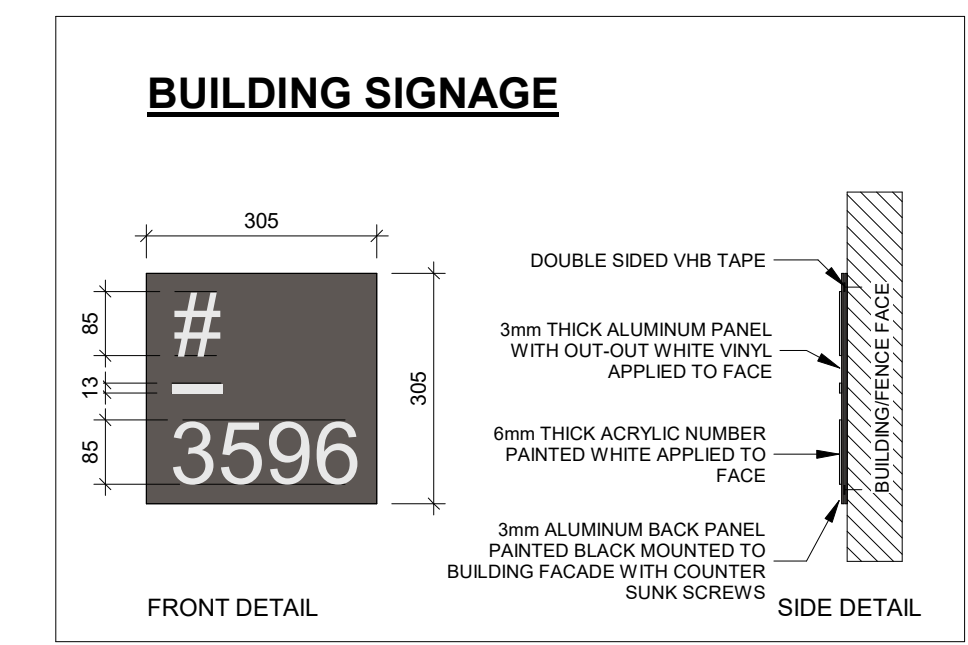
Name: MT2-4 Metal Cladding + Window Flashing
Description: Location indicated on drawings note- cap flashing for FC-1, Standing Seam roof
Colour: Medium Light Grey



Name: Metal Railing Horizontal Metal Balcony Guards
Description: --
Colour: Brown

Name: Metal Railing Horizontal Metal Balcony Guards
Description: --
Colour: Charcoal

Name: Privacy Screen Vertical Metal Slats
Description: --
Colour: Brown

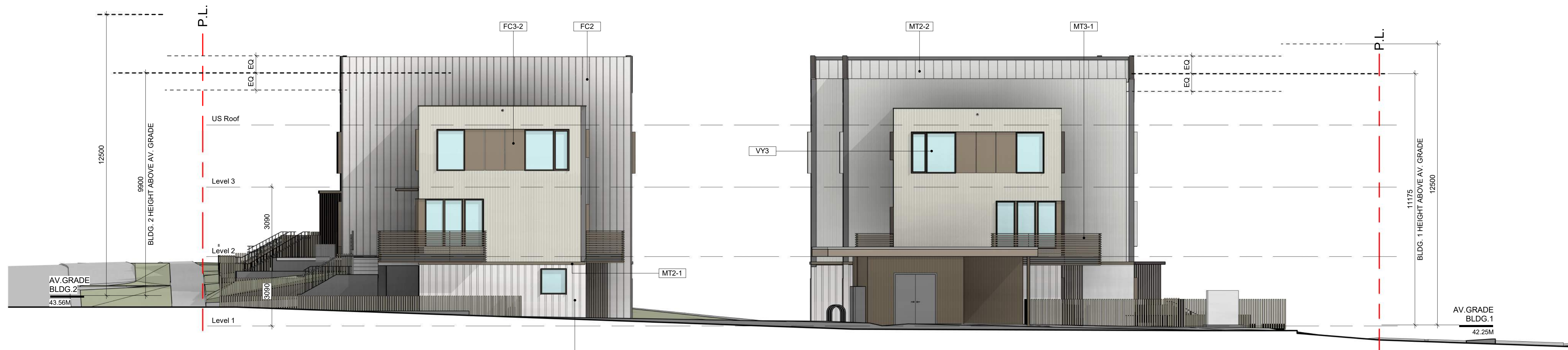


BUILDING SIGNAGE

FRONT DETAIL

SIDE DETAIL

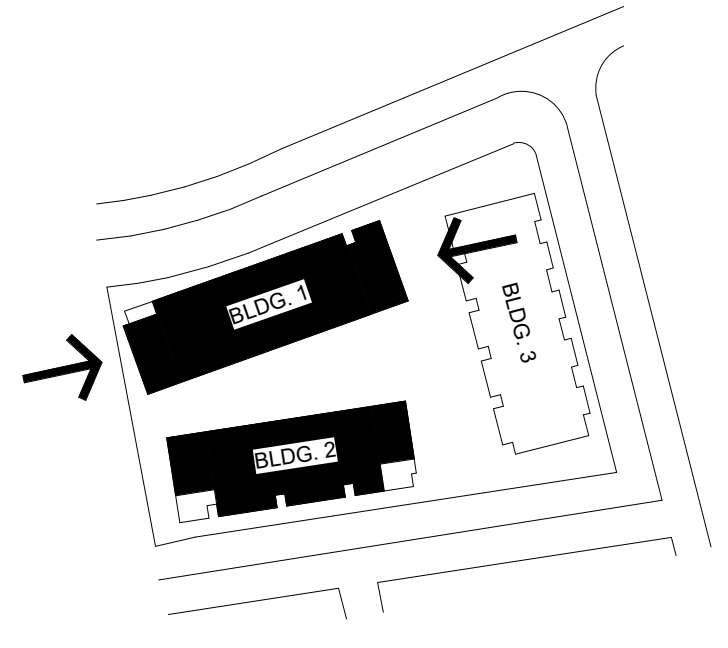
C:\Users\mca\OneDrive - CASCADIA ARCHITECTS INC\Documents\13-14_Beachlands_Site\13-14_Main Model_mca\02EMV1



1 Elevation Bldg. 1 East.
SCALE = 1 : 100

BLDG. 2

BLDG. 1



Keystone Legend Materials	
Key Value	Keystone Text
CR1	Concrete, Sealed
DR-1	Garage Door, sectional, smooth pld. finish
FC1	Fibre Cement Panel, Board and Batten Tight, Medium Light Grey
FC2	Fibre Cement Panel, Board and Batten Wide, Light Grey
FC3-1	Cementitious Panel, Charcoal
FC3-2	Cementitious Panel, Brown
FC3-3	Cementitious Panel, Light Grey
FE 1	Fence Wood Slats Horizontal
GL1	Glass, clear
GL2	Frosted Glass - White
MT2-1	Powder Coated Metal, Brown
MT2-2	Powder Coated Metal, Light Grey
MT2-3	Powder Coated Metal, Charcoal
MT2-4	Powder Coated Metal, Medium Light Grey,
MT3-1	Powder Coated Metal, Railing Brown
MT3-2	
PS1	Privacy Screen
VY1	Vinyl Frame, White
VY2	Vinyl Frame, Charcoal
VY3	Vinyl Frame, Brown



2 Elevation Bldg. 1 West.
SCALE = 1 : 100

BLDG. 1

BLDG. 2

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Development Permit	25.03.18



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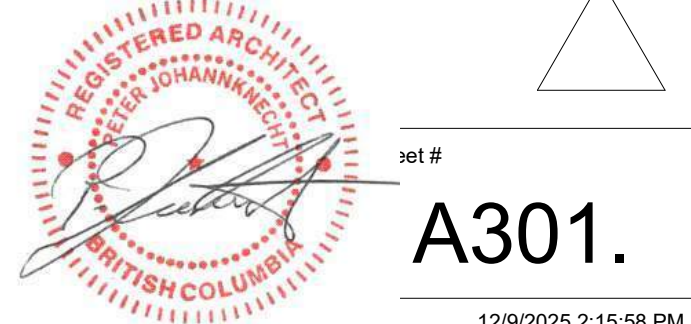
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Beachlands Site 13-14

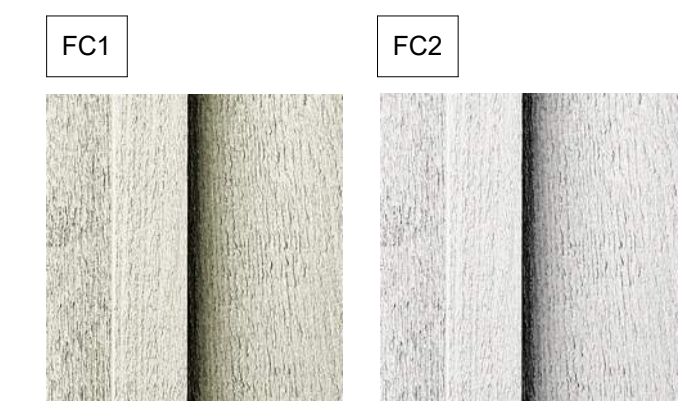
RPSP Beach Front Development Manager Ltd.

Sheet Name
Elevation Bldg. 1 East / West

Date: December 10th 2025
Scale: As indicated
Project #: 2330
Revision: [triangle symbol]



set #
A301.



Name: Fiber Cement 1
Application: Siding
Description: Wood grained board and batten
Colour: Medium Light Grey

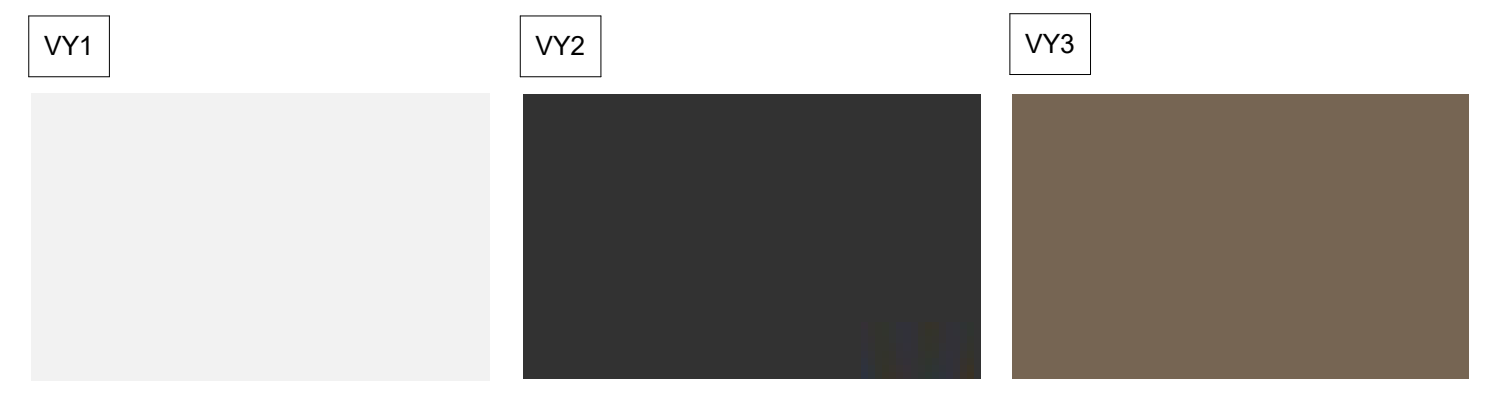
Name: Fiber Cement 2
Application: Siding
Description: Wood grained board and batten
Colour: Light Grey



Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Charcoal - location indicated on drawings

Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Brown - location indicated on drawings

Name: Fiber Cement 3
Application: Siding Infill Between Windows
Description: Textured or Smooth Panel
Colour: Light Grey - location indicated on drawings



Name: Vinyl Windows
Window Frame Material: --
Colour: White

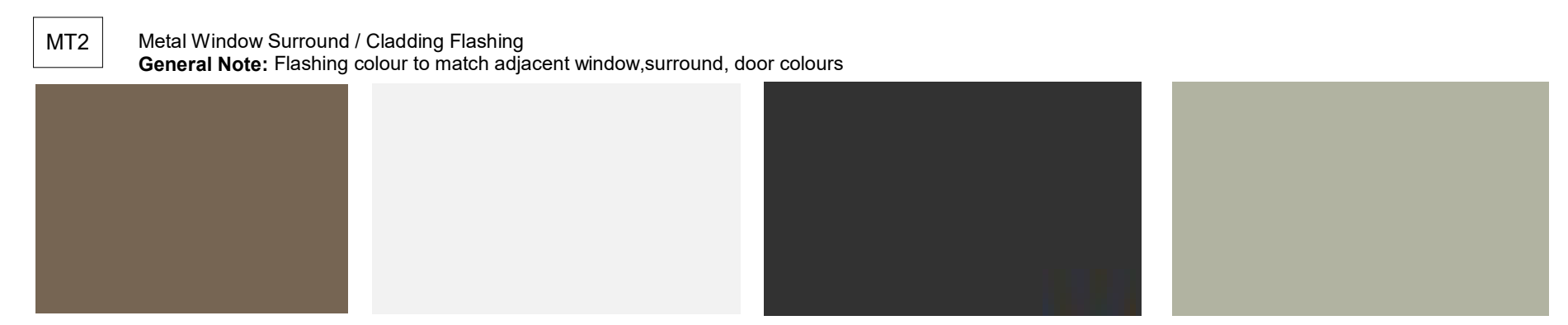
Name: Vinyl Windows
Window Frame Material: --
Colour: Charcoal

Name: Vinyl Windows
Window Frame Material: --
Colour: Brown



Name: Clear Glass

Name: Opaque Glass

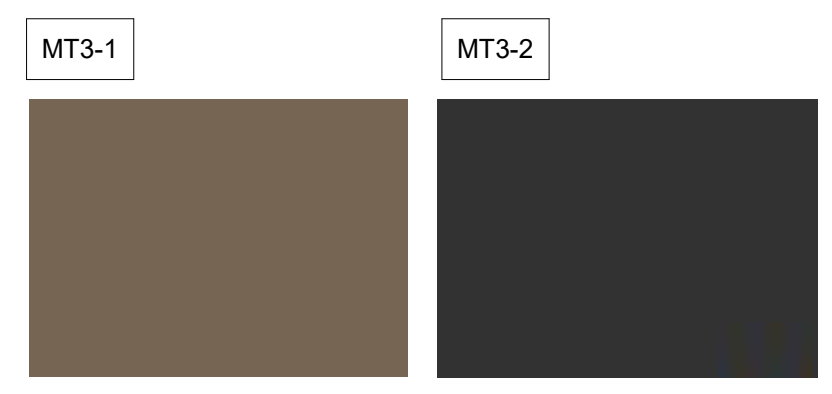


Name: MT2-1
Application: Metal Cladding + Window Flashing
Description: Location indicated on drawings
Colour: Brown

Name: MT2-2
Application: Metal Cladding + Window Flashing
Description: Location indicated on drawings note- cap flashing for FC-2
Colour: Light Grey

Name: MT2-3
Application: Metal Cladding + Window Flashing
Description: Location indicated on drawings
Colour: Charcoal

Name: MT2-4
Application: Metal Cladding + Window Flashing
Description: Location indicated on drawings note- cap flashing for FC-1, Standing Seam roof
Colour: Medium Light Grey

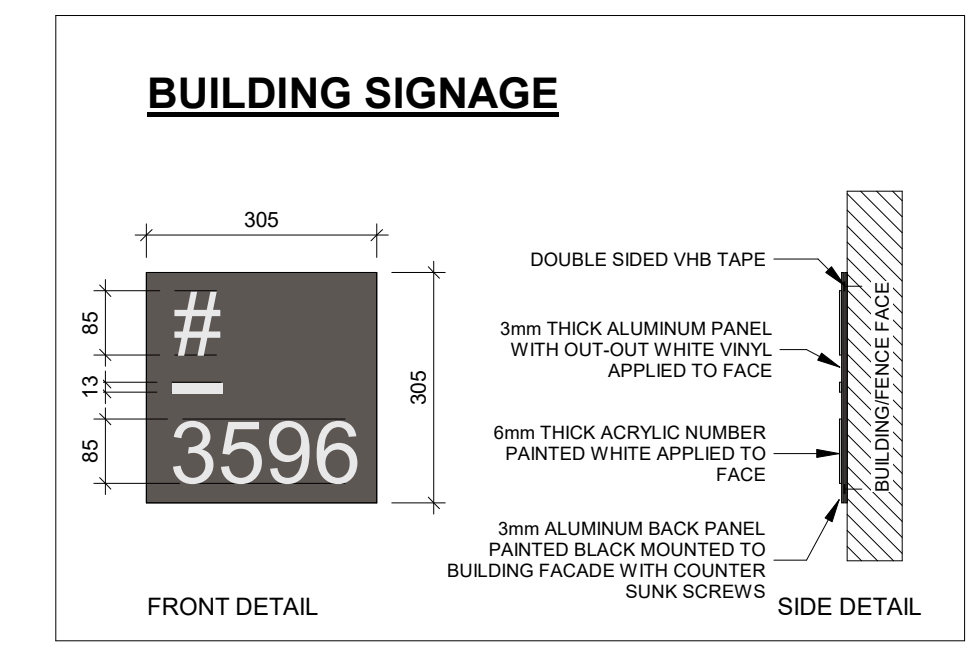


Name: Metal Railing
Horizontal Metal Balcony Guards: --
Colour: Brown

Name: Metal Railing
Horizontal Metal Balcony Guards: --
Colour: Charcoal



Name: Privacy Screen
Vertical Metal Slats: --
Colour: Brown



BUILDING SIGNAGE

FRONT DETAIL

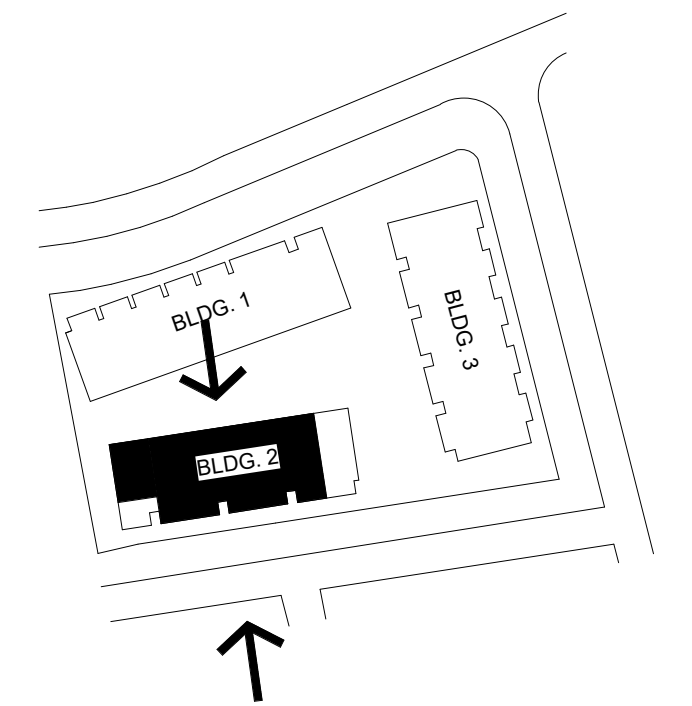
SIDE DETAIL



1 Elevation Bldg. 2 North.
SCALE = 1 : 100



2 Elevation Bldg 2 South.
SCALE = 1 : 100



Key Value	Keynote Text
CR1	Concrete, Sealed
DR-1	Garage Door, sectional, smooth ptd. finish
FC1	Fibre Cement Panel, Board and Batten Tight, Medium Light Grey
FC2	Fibre Cement Panel, Board and Batten Wide, Light Grey
FC3-1	Cementitious Panel, Charcoal
FC3-2	Cementitious Panel, Brown
FC3-3	Cementitious Panel, Light Grey
FE 1	Fence Wood Slats Horizontal
GL1	Glass, clear
GL2	Frosted Glass - White
MT2-1	Powder Coated Metal, Brown
MT2-2	Powder Coated Metal, Light Grey
MT2-3	Powder Coated Metal, Charcoal
MT2-4	Powder Coated Metal, Medium Light Grey.
MT3-1	Powder Coated Metal, Railing Brown
MT3-2	Powder Coated Metal, Railing Brown
PS1	Privacy Screen
VY1	Vinyl Frame, White
VY2	Vinyl Frame, Charcoal
VY3	Vinyl Frame, Brown

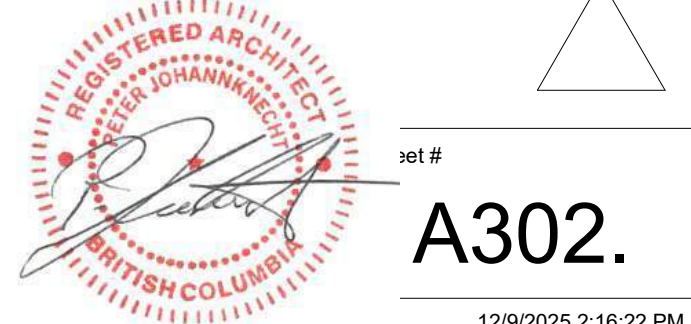
NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Issued for 75% Coordination	25.07.18
	Development Permit	25.03.18



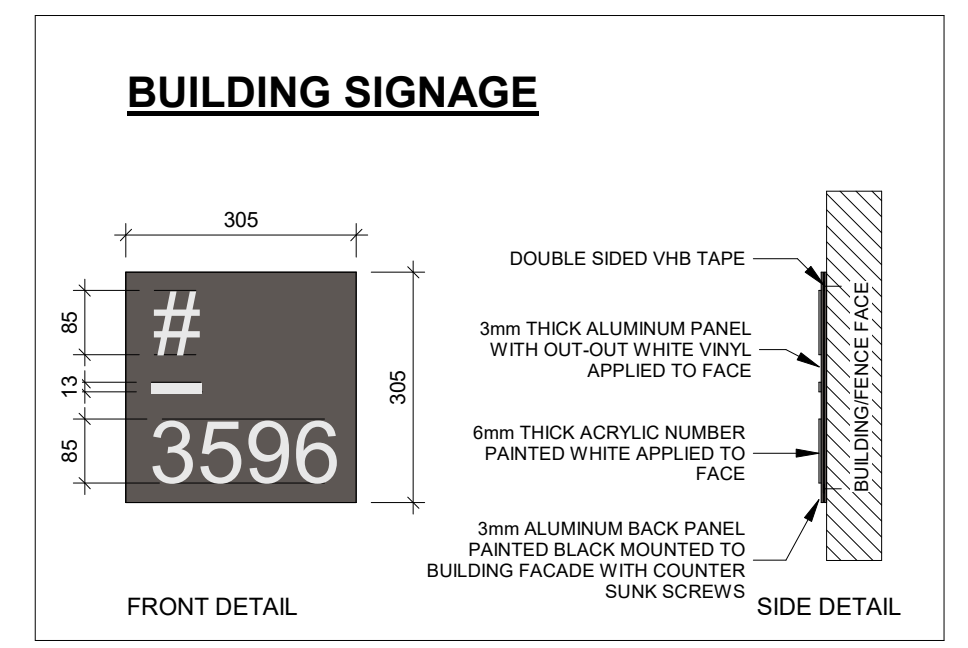
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Beachlands Site 13-14
RPSP Beach Front Development Manager Ltd.
Sheet Name
Elevations Bldg. 2 North / South

Date
December 10th 2025
Scale
As indicated
Project #
2330
Revision



<p>FC1</p> <p>Name: Fiber Cement 1 Application: Siding Description: Wood grained board and batten Colour: Medium Light Grey</p>	<p>FC2</p> <p>Name: Fiber Cement 2 Application: Siding Description: Wood grained board and batten Colour: Light Grey</p>	<p>FC3-1</p> <p>Name: Fiber Cement 3 Application: Siding Infill Between Windows Description: Textured or Smooth Panel Colour: Charcoal - location indicated on drawings</p>	<p>FC3-2</p> <p>Name: Fiber Cement 3 Application: Siding Infill Between Windows Description: Textured or Smooth Panel Colour: Brown - location indicated on drawings</p>	<p>FC3-3</p> <p>Name: Fiber Cement 3 Application: Siding Infill Between Windows Description: Textured or Smooth Panel Colour: Light Grey - location indicated on drawings</p>	<p>VY1</p> <p>Name: Vinyl Windows Window Frame Material: -- Colour: White</p>	<p>VY2</p> <p>Name: Vinyl Windows Window Frame Material: -- Colour: Charcoal</p>	<p>VY3</p> <p>Name: Vinyl Windows Window Frame Material: -- Colour: Brown</p>	<p>GL1</p> <p>Colour: Clear Glass</p>	<p>GL2</p> <p>Colour: Opaque Glass</p>
<p>MT2</p> <p>Name: Metal Window Surround / Cladding Flashing Description: General Note: Flashing colour to match adjacent window surround, door colours</p> <p>Colour: Brown, Light Grey, Charcoal, Medium Light Grey</p>	<p>MT3-1</p> <p>Name: Metal Railing Description: Horizontal Metal Balcony Guards Colour: Brown</p>	<p>MT3-2</p> <p>Name: Metal Railing Description: Horizontal Metal Balcony Guards Colour: Charcoal</p>	<p>PS1</p> <p>Name: Privacy Screen Description: Vertical Metal Slats Colour: Brown</p>						



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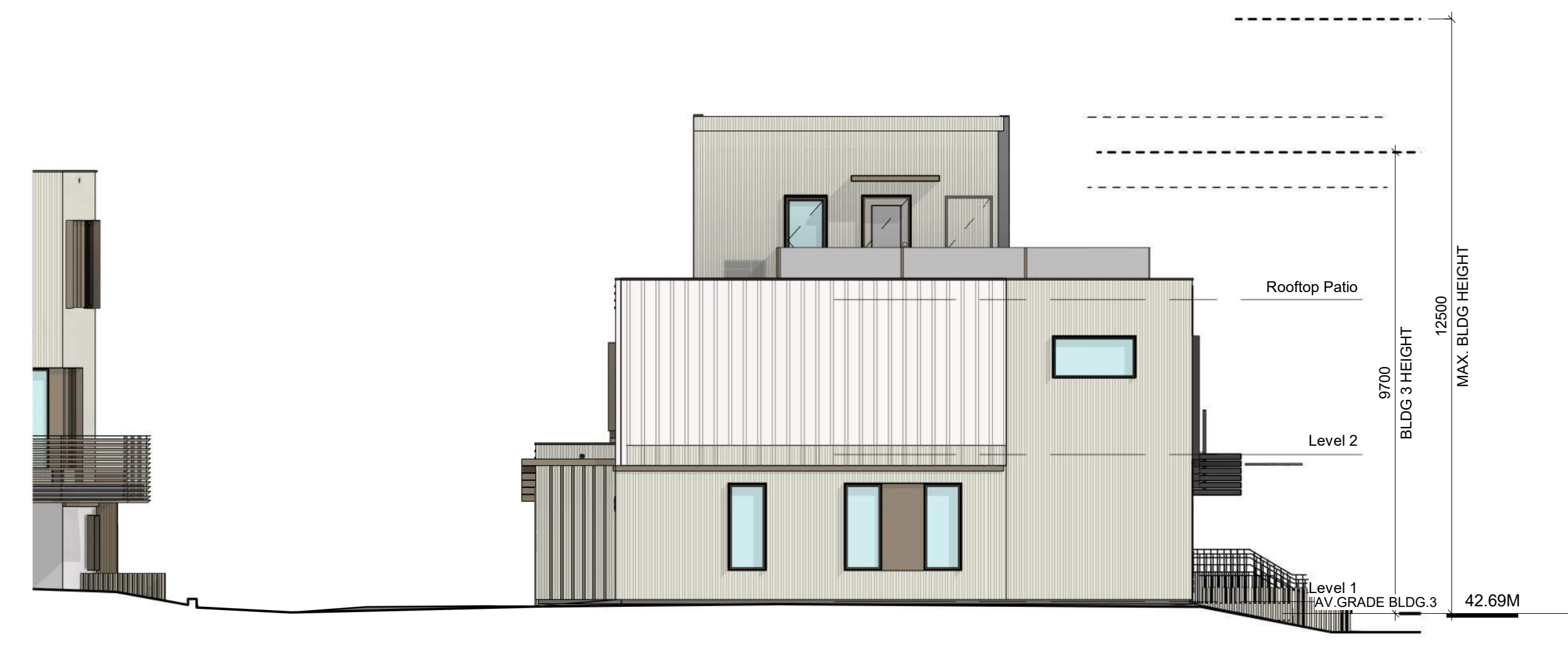
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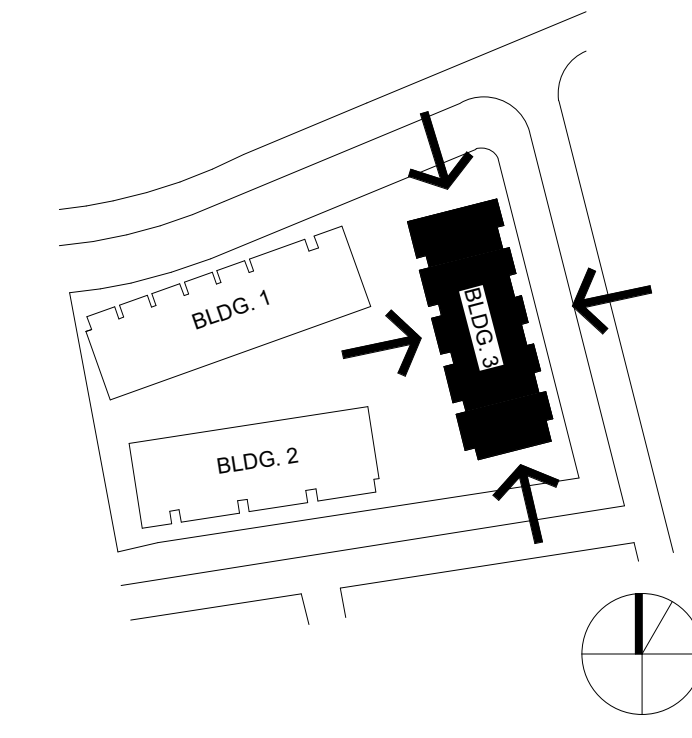
2 Elevation Bldg. 3 West.
SCALE = 1 : 100



3 Elevation Bldg. 3 North .
SCALE = 1 : 100



4 Elevation Bldg. 3 South .
SCALE = 1 : 100



Keynote Legend Materials	
Key Value	Keynote Text
CR1	Concrete, Sealed
DR-1	Garage Door, sectional, smooth pld. finish
FC1	Fibre Cement Panel, Board and Batten Tight, Medium Light Grey
FC2	Fibre Cement Panel, Board and Batten Wide, Light Grey
FC3-1	Cementitious Panel, Charcoal
FC3-2	Cementitious Panel, Brown
FC3-3	Cementitious Panel, Light Grey
FE 1	Fence Wood Slats Horizontal
GL1	Glass, clear
GL2	Frosted Glass - White
MT2-1	Powder Coated Metal, Brown
MT2-2	Powder Coated Metal, Light Grey
MT2-3	Powder Coated Metal, Charcoal
MT2-4	Powder Coated Metal, Medium Light Grey
MT3-1	Powder Coated Metal, Railing Brown
MT3-2	Powder Coated Metal, Railing Brown
PS1	Privacy Screen
VY1	Vinyl Frame, White
VY2	Vinyl Frame, Charcoal
VY3	Vinyl Frame, Brown

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Development Permit	25.03.18



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name
Elevations Bldg. 3

Date
December 10th 2025

Scale
1 : 100

Project #
2330

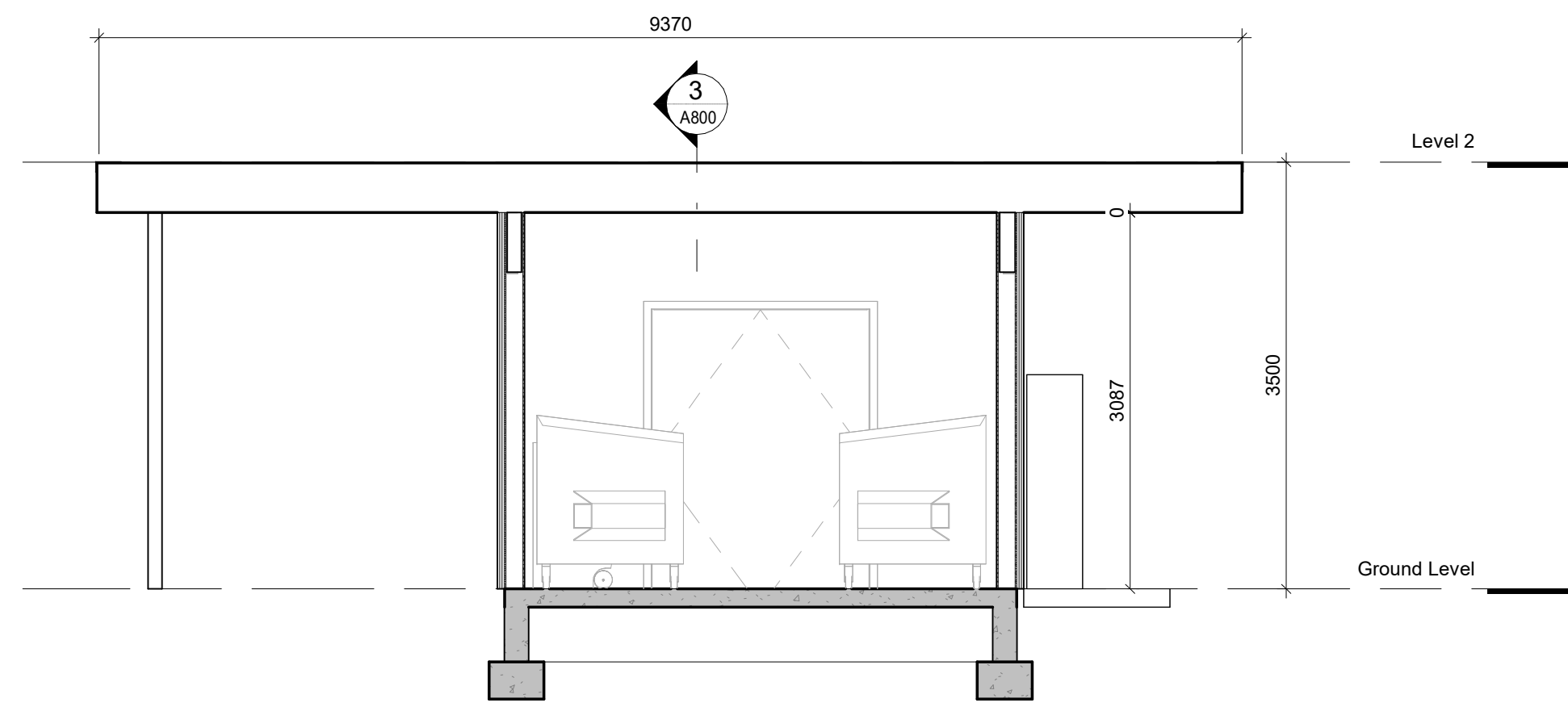
Revision
1

set #
A303.

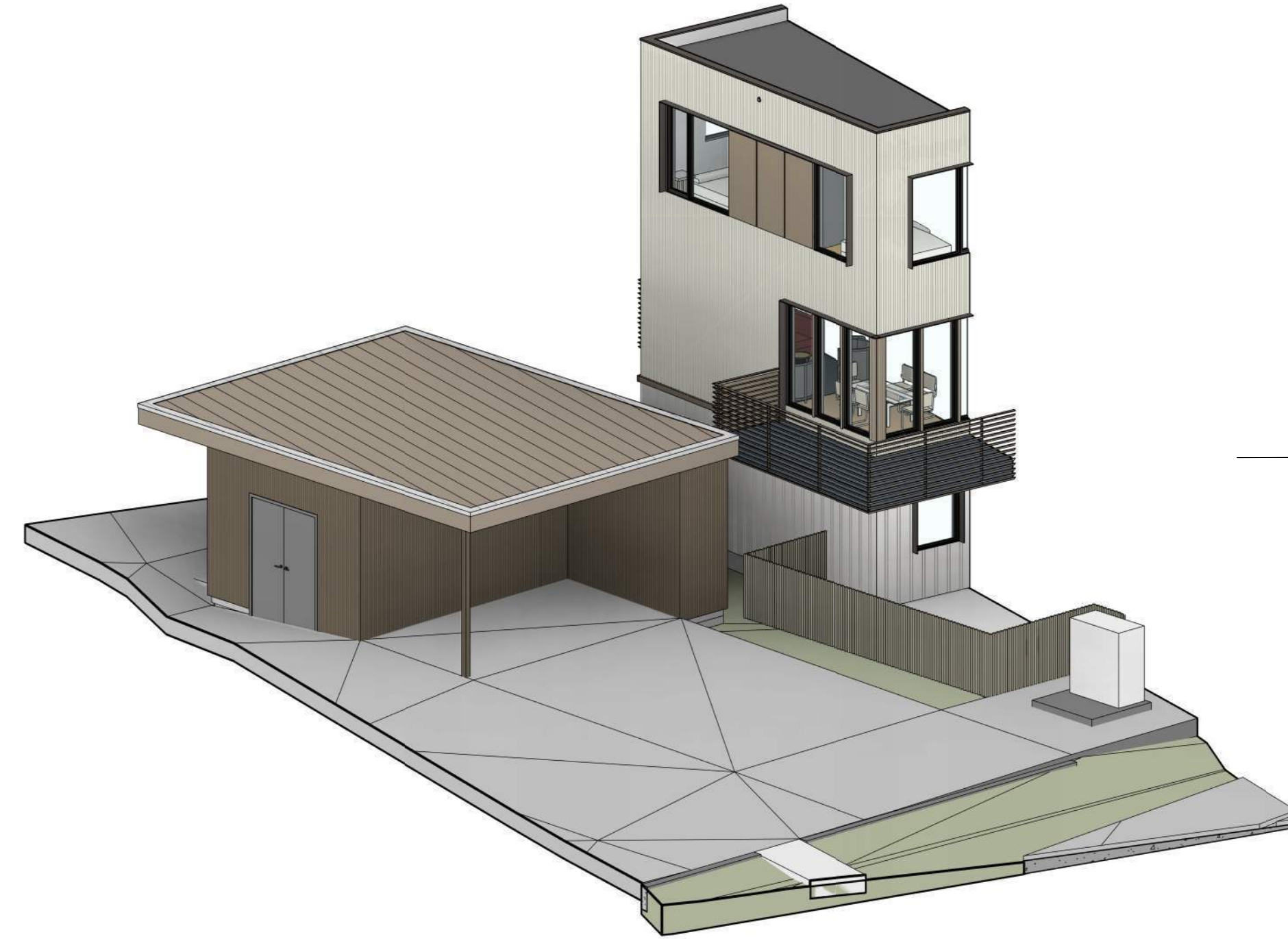
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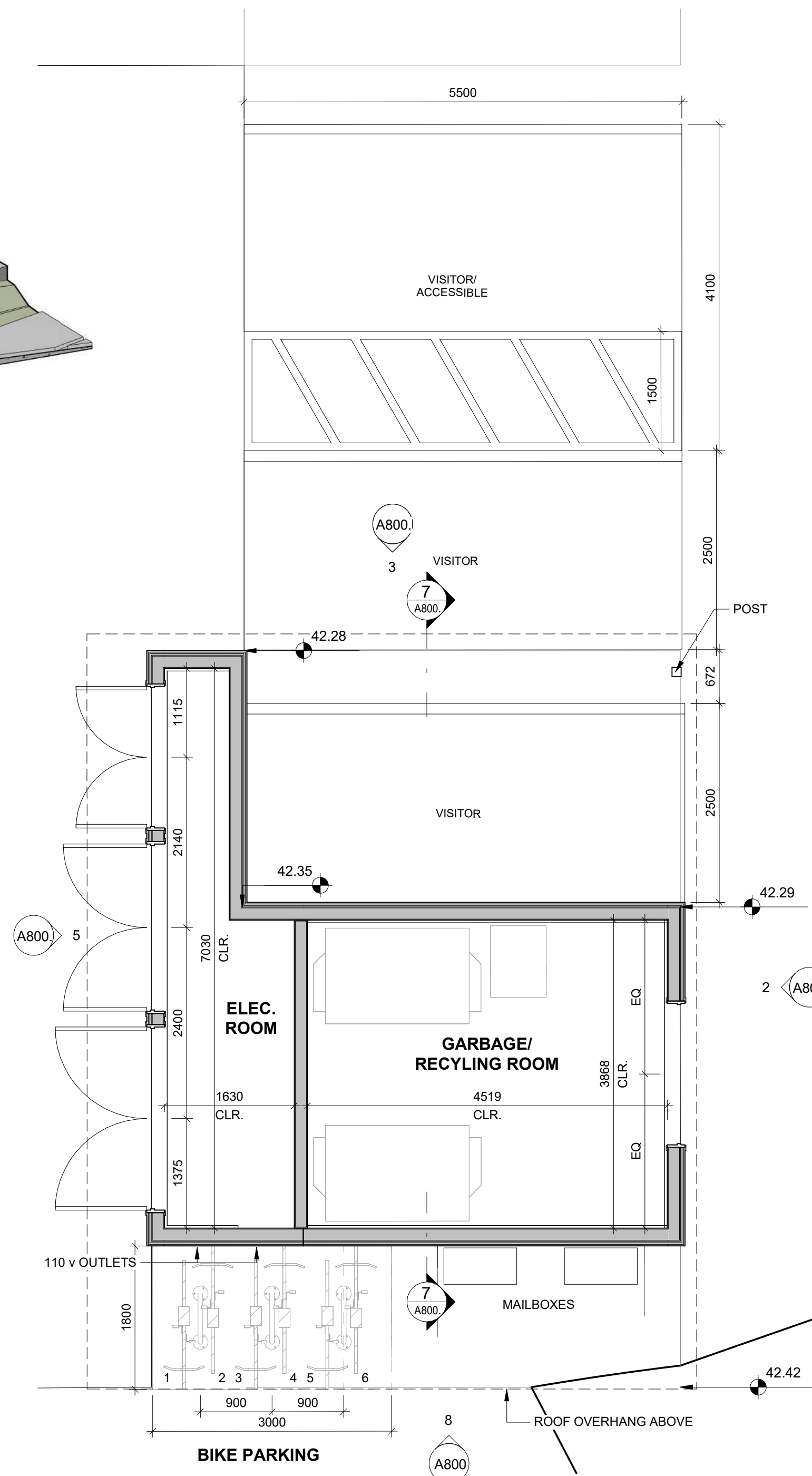
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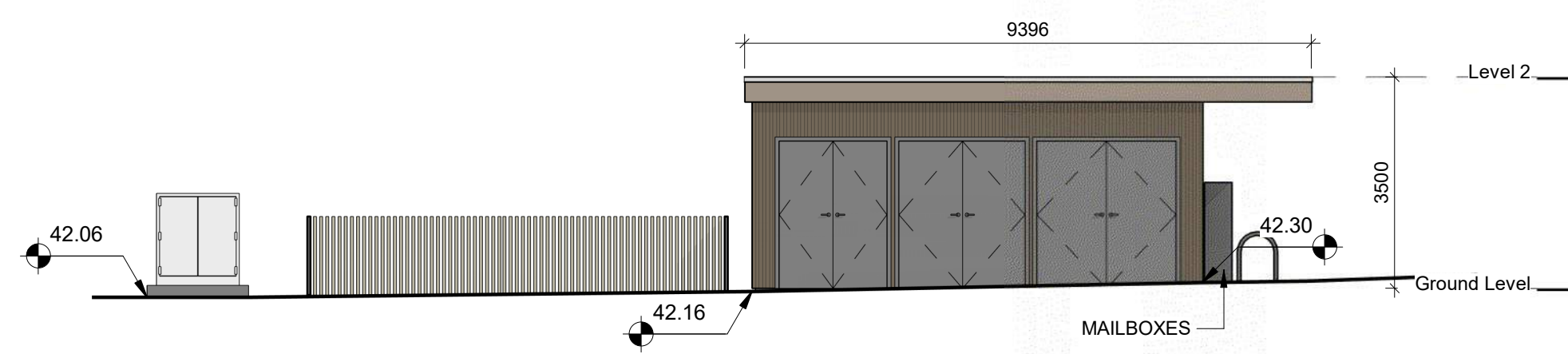
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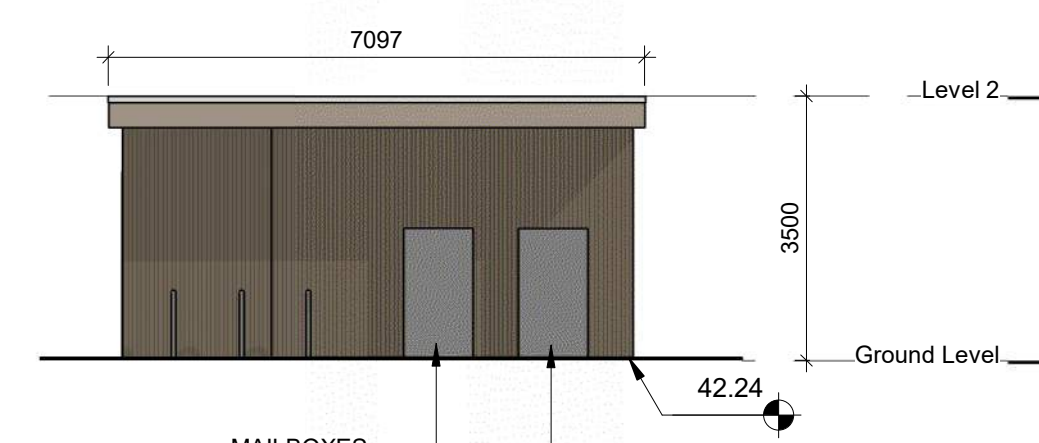
6 3D - COMMON FACILITIES PAVILLION
SCALE =



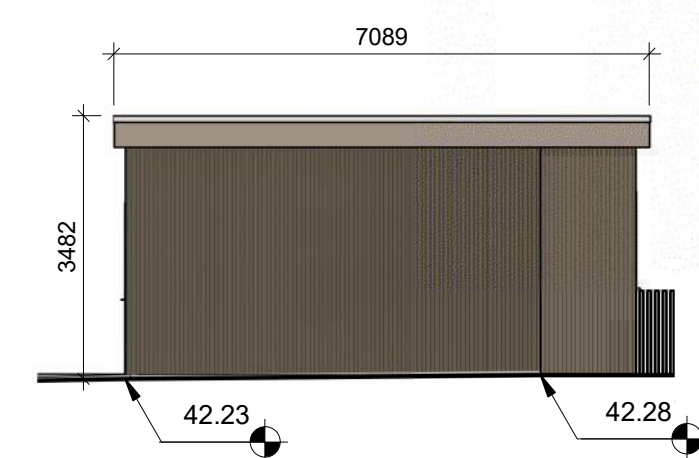
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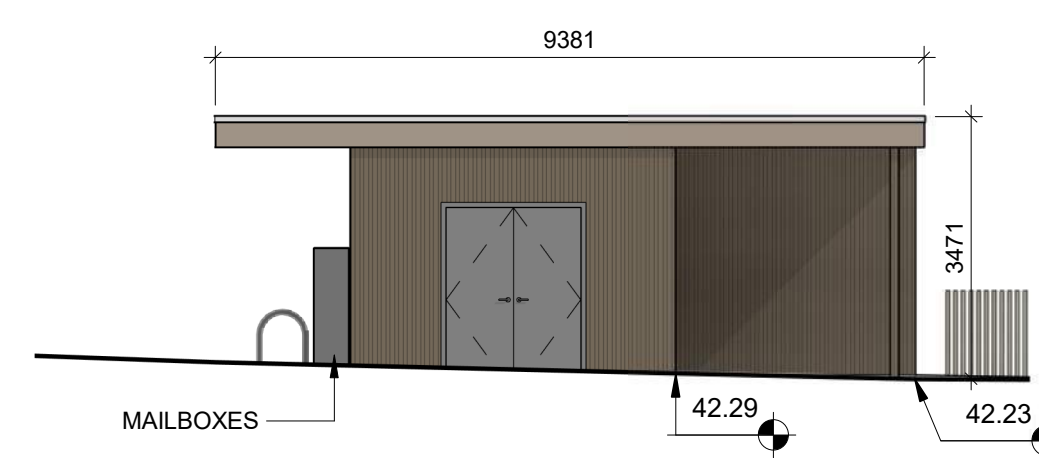
5 WEST ELEVATION - ELECTRICAL ROOM.
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4 SOUTH ELEVATION - COMMON FACILITIES PAVILLION
SCALE = 1 : 100



3 NORTH ELEVATION - COMMON FACILITIES PAVILLION
SCALE = 1 : 100



2 EAST ELEVATION - COMMON FACILITIES PAVILLION
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Issued for 75% Coordination	25.07.18



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Beachlands Site 13-14
RPSP Beach Front Development Manager Ltd.

Sheet Name
Common Facilities Pavillion

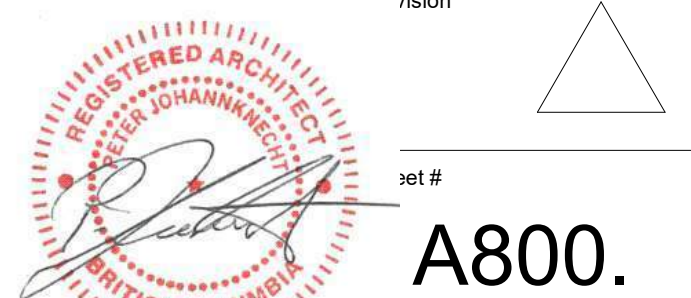
Date
December 10th 2025

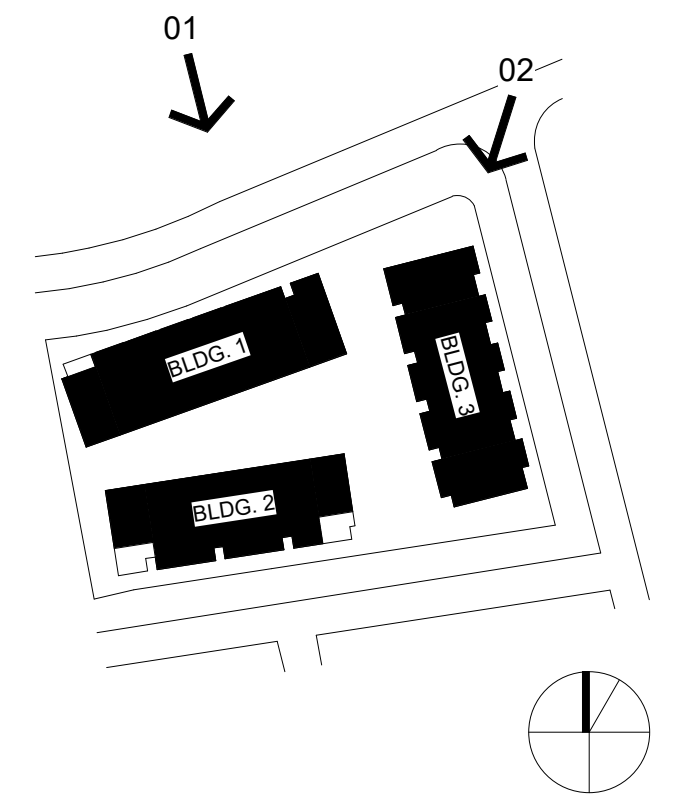
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Project #
2330

Revision
A800.

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NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Development Permit	25.03.18



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name
Perspectives

Date
December 10th 2025

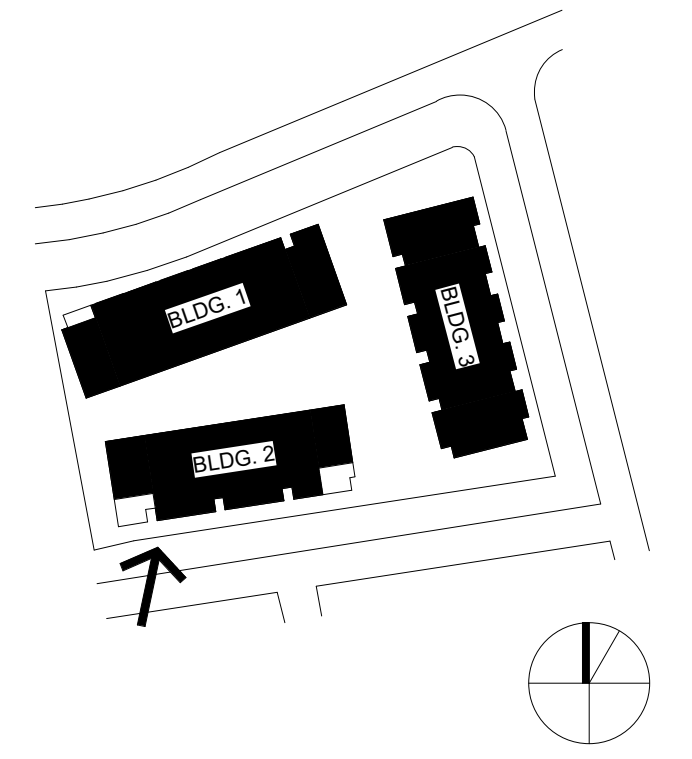
Scale
Project #
2330

Revision
Revision #
1

Set #
A900

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	Development Permit Revision 2	25.12.10
	Development Permit Revision 1	25.09.12
	Development Permit	25.03.18
NO.	DESCRIPTION	DATE



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name
Perspectives

Date
December 10th 2025

Scale
Project #
2330

Revision
Revision #
1

Sheet #
A901

2025-12-10
12/9/2025 2:17:35 PM





1. Corner of Coastal Drive and Bluffs Drive



2. Coastal Drive looking South



3. View of north face of building 3 from Coastal Drive



4. Coastal Drive looking West

NO.	DESCRIPTION	DATE
	Development Permit Revision 2	25.12.10



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Beachlands Site 13-14

RPSP Beach Front Development Manager Ltd.

Sheet Name
Building 3 - North Perspectives

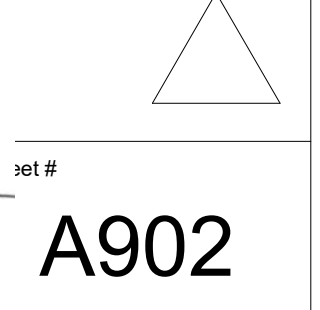
Date
December 10th 2025

Scale
Project #
2330

Revision
1

Set #
A902

2025-12-10 12/9/2025 2:17:35 PM



2025-12-10

12/9/2025 2:17:35 PM

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100	100% EXISTING	0.00



DRAWING TITLE
LANDSCAPE PLAN

DWG NO.
L1.01

SCALE
1:50

GENERAL LEGEND

EXISTING SITE
 EXISTING CONCRETE DRIVE

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[Symbol]	PAVING TYPE 1: C/P CONCRETE - Light Brown Finish - 100mm Thick	216.4 m ²
[Symbol]	PAVING TYPE 2: C/P CONCRETE - Standard Colour	11.9 m ²
[Symbol]	PAVING TYPE 3: EXPOSED AGGREGATE - 20mm Gravel	625.4 m ²
[Symbol]	PAVING TYPE 4: SQUARE CONCRETE PAVERS - Modern Beige/Brown Square - 150mm x 150mm - Refer to manufacturers specifications	282.8 m ²
[Symbol]	ON-SITE PLANTED AREAS	603.3 m ²
[Symbol]	SOIL BENCH PLANTING - Planting as per City of Colwood Standards - As per City of Colwood Standards	552.4 m ²
[Symbol]	MUNICIPAL SIDEWALK - As per City of Colwood Standards	480.0 m ²
[Symbol]	MAINTENANCE STRIP	42.2 m ²



LANDSCAPE NOTES - GENERAL

- ALL LANDSCAPE AREAS AND MUNICIPAL BOULEVARD TO BE INSTALLED TO THE MUNICIPAL BOULEVARD TO BE BARRICADED FROM THE DEVELOPMENT WATER SOURCE IN A SEPARATE ZONE TO BE CONTROLLED ACCESSIBLE TO CITY OF COLWOOD PARKS.
- OFF-SITE TREE PLANTING TO BE IDENTIFIED BY COLWOOD.
- NO EXISTING TREES ON SITE.
- REFER TO ALL WORKS ON MUNICIPAL SIDEWALKS, DRIVEWAYS AND DRIVE ASLE GRADING.
- REFER TO CITY OF COLWOOD STANDARDS FOR LANDSCAPE IMPROVEMENTS AND DETAILS FOR LANDSCAPE.
- ALL SOFT LANDSCAPE MATERIALS AND INSTALLATION TO BE IDENTIFIED BY COLWOOD STANDARDS UNLESS SPECIFICALLY STATED OTHERWISE ON THESE DRAWINGS.
- ALL HARD SURFACE LANDSCAPE MATERIALS AND INSTALLATION TO CONFORM TO THE CURRENT EDITION OF THE CITY OF COLWOOD STANDARDS UNLESS SPECIFICALLY STATED OTHERWISE ON THESE DRAWINGS OR CITY OF COLWOOD SPECIFICATION DOCUMENTS.





2105 Strath View RD Saanichton, BC V8M 1T3
 info@biophylia.com.ca 250 590 1158

OWNER/CLIENT:

PROJECT NAME:

PROJECT ADDRESS:
**Beachlands Site 13-14,
 Colwood, BC.**

DESIGNED BY: PHYLIA LIA
 DRAWN BY: PHYLIA LIA

1	100% EDC/0% RFP	14-03-2019
2	100% EDC/0% RFP	14-03-2019
3	100% EDC/0% RFP	14-03-2019
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50	100% EDC/0% RFP	14-03-2019

SCALE



DRAWING TITLE:
PLANTING PLAN

DWG NO.:
L2.01
 SCALE:
1:150

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE
TREES			
AS		Amelanchier alnifolia / Snowdoory	100cm Ht.
AT		Amelanchier alnifolia / Snowdoory	2m Ht.
CE		Cornus s. 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	4cm Cal.
GD		Quercus laevis / Bur Oak	5cm Cal.
MT		Municipal Tree / (SPECIES TO BE SELECTED BY MUNICIPALITY)	70cm Cal.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTA
SHRUBS				
Ae		Arctostaphylos uva-ursi / Little Sur Manzanita	#2 Pot	1.2m
Bg		Baccharis sp. / Dinky Bush	#3 Pot	1.2m
Os		Osier fraxinifolia / Chatham Island Ash	#2 Pot	1.5m
Pp		Prinos majo 'Pencil' / Dwarf Magnolia	#2 Pot	0.8m
Pr		Prostransis curvata / Alpine Moss Bush	#1 Pot	0.6m
Tm		Thalictrum aquilegifolium / Wild Thyme	#3 cont.	750mm
Vo		Vaccinium ovatum / European Huckleberry	#3 cont.	1.2m
GRASSES				
Dt		Deschampsia cespitosa / Tufted Hair Grass	#1 Pot	0.6m
Sg		Stipa spicata / Great Feather Grass	#2 Pot	1.5m
PERENNIALS				
Gm		Gaura bipinnatifida / Gaura	#1 Pot	450mm
Nd		Nasturtium officinale / Watercress	#2 Pot	600mm
FERNS				
Ph		Polystichum munitum / Western Sword Fern	#1 POT	750mm
GROUND COVERS				
Tu		Turf sod / Drought Tolerant Fescue Blend		see

PLANTING NOTES

- PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY / LANDSCAPE NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARDS, CURRENT EDITION.
- CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
- PLANTS TO BE SPECIFIED TO MEET THE STANDARDS OF THE CITY OF COLWOOD.
- ALL GROWING MEDIA PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS.
- ALL ON-SITE AND OFF-SITE LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.





2105 Strath View RD Saanichton, BC V8M 1T3
 info@bio.phy.lia.ca 250.593.1159

OWNER/CLIENT:

PROJECT NAME:

PROJECT ADDRESS:
 Beachlands Site 13-14,
 Colwood, BC,

DESIGNED BY: LESTER
 DESIGN CONSULTING

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	2024.08.01
2	ISSUED FOR PERMITS	2024.08.01
3	ISSUED FOR PERMITS	2024.08.01
4	ISSUED FOR PERMITS	2024.08.01
5	ISSUED FOR PERMITS	2024.08.01
6	ISSUED FOR PERMITS	2024.08.01
7	ISSUED FOR PERMITS	2024.08.01
8	ISSUED FOR PERMITS	2024.08.01
9	ISSUED FOR PERMITS	2024.08.01
10	ISSUED FOR PERMITS	2024.08.01

SCALE:



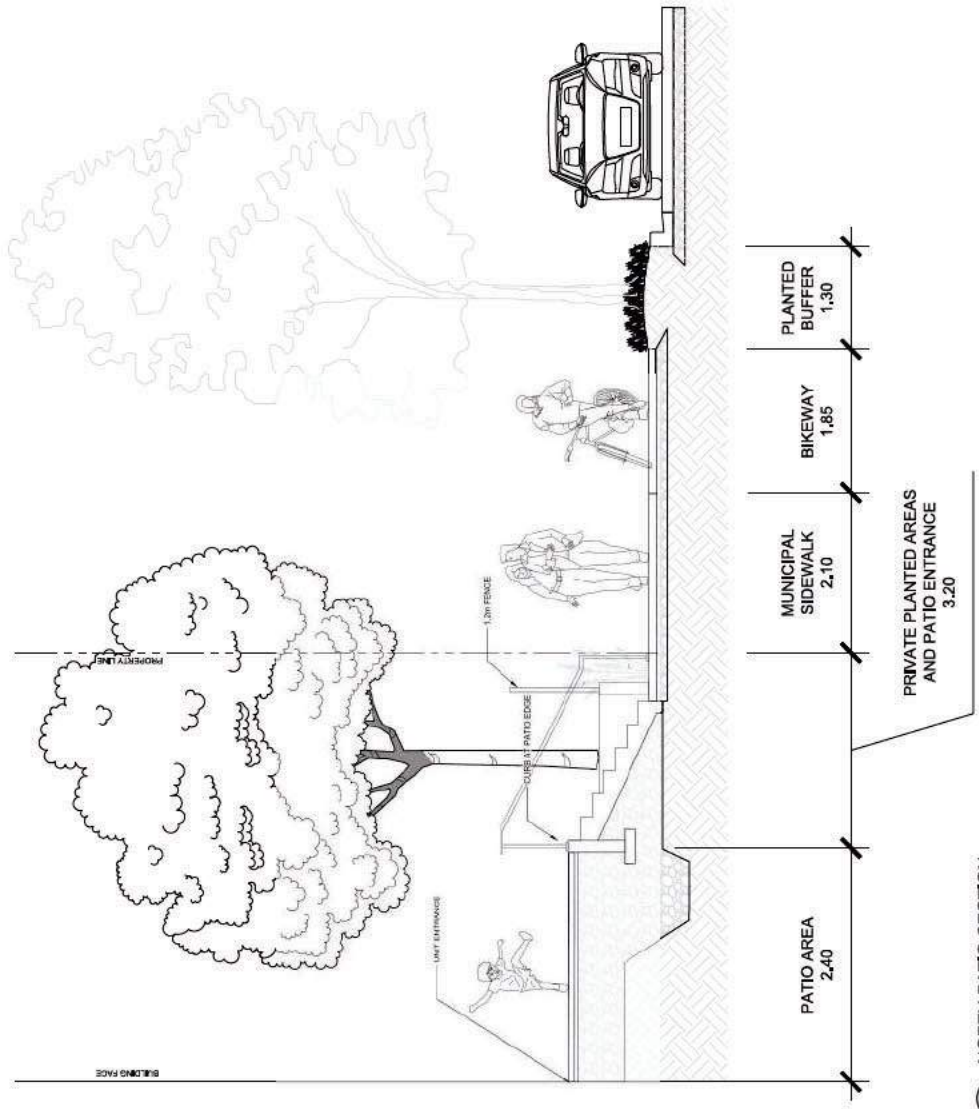
SEAL

NORTH ARROW

DRAWING TITLE:

SECTIONS

DWG NO: **L3.01**
 SCALE: 1:50



01 NORTH PATIO SECTION



Landscape Budget for Hard and Soft-Scape
Site 13-14. Colwood, BC



Attention: File Manager, City of Colwood
Dec 04, 2025

The following is the **ON-SITE** landscape supply and installation budget for the above address:

- Supply and installation of bulk materials (soil & mulch), trees, and plants:
██████████
 - Supply and installation of all hardscape (not including driveway), including patio pavers, unit paver walkway, fencing and furnishings:
██████████
 - Installation of irrigation system, point of connection and back-flow device:
██████████
- Subtotal: ██████████
Total including GST: ██████████

The following is the **OFF-SITE** landscape supply and installation budget for the above address:

- Supply and installation of bulk materials (soil & mulch), trees, and plants:
██████████
 - Installation of irrigation system, point of connection and back-flow device:
██████████
- Subtotal: ██████████
Total including GST: ██████████

Should you have any questions, please contact our team.

Respectfully,

Bianca Bodley, Owner and Principal